



PLANNING COMMISSION AGENDA

Tuesday, May 26, 2020
Planning Commission Hearings 7:00 p.m.

James McGrade, Chair

Sara Barnes-Ramos, Commission
Member

Dan Phu, Commission
Member

Gary Brattain, Vice Chair

Melanie Schlotterbeck, Commission
Member

This agenda contains a brief general description of each item the Commission will consider. This agenda contains a brief general description of each item the Commission will consider. The Planning Division has on file copies of written documentation relating to each item of business on this Agenda available for public inspection. Contact the Planning Department's Office at (714) 990-7674 or view the Agenda and related materials on the City's website at www.cityofbrea.net.

Procedures for Addressing the Commission

The Commission encourages public participation during Public Hearings and under Matters from the Audience. State Law prohibits the Commission from responding to or acting upon matters not listed on this agenda. To limit the spread the COVID-19 virus, the Council Chambers will not be open to the public. Public comments will be accepted in in writing, a separate location on-site, and by teleconference. The meeting will also be broadcast live at www.cityofbrea.net.

Written comments must be to the Planning Division at planning@cityofbrea.net no later than 4:00 p.m. on Tuesday, May 26, 2020. The email subject line should state: "Brea Planning Commission Meeting" followed by the number of the relevant agenda item and/or "Non-Agenda Item." Summaries of all written comments will be read during the meeting by City Staff.

To provide comments in person, the public must use video conferencing equipment provided in Community Rooms A and B, located on the 2nd Floor of the Brea Civic & Cultural Center at 1 Civic Center Circle.

To provide comments by teleconference, members of the public must contact City Staff at (714) 990-7674 or planning@cityofbrea.net no later than 12:00 p.m. on Tuesday, May 26, 2020 to obtain the Zoom Meeting ID number. Teleconference participants will be muted until recognized at the appropriate time by the Commission.

Special Accommodations

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Division at (714) 990-7674. Notification 48 hours prior to the meeting will enable City staff to make reasonable arrangements to ensure accessibility. (28 CFR 35.102.35.104 ADA Title II)

ALL PLANNING COMMISSION DECISIONS MAY BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) CALENDAR DAYS OF THE MEETING. PLEASE CONTACT THE CITY CLERK AT (714) 990-7756 FOR FURTHER INFORMATION ABOUT FILING AN APPEAL OR OBTAINING AN APPEAL APPLICATION.

**PLANNING COMMISSION
PUBLIC HEARINGS**
7:00 p.m. - Council Chambers, Plaza Level

1. **CALL TO ORDER / ROLL CALL - COMMISSION**

2. **MATTERS FROM THE AUDIENCE**

APPROVAL OF MINUTES

3. Approval of Planning Commission Meeting Minutes of April 28, 2020

PUBLIC HEARINGS

4. Precise Development No. PD 20-03 and Conditional Use Permit No. CUP 20-09 for the Development of a Residential Care Facility for Assisted Living and Memory Care at 251 South Randolph Avenue

ADMINISTRATIVE ITEMS

5. Update to Regular Planning Commission Meetings

6. **COMMITTEE REPORTS**

7. **INFORMATIONAL / PROJECT UPDATES**

8. **ADJOURNMENT**

City of Brea

PLANNING COMMISSION COMMUNICATION

TO: Honorable Chair and Planning Commission

DATE: 05/26/2020

SUBJECT: Approval of Planning Commission Meeting Minutes of April 28, 2020.

RESPECTFULLY SUBMITTED

Jennifer A. Lilley, AICP, City Planner

Attachments

1. April 28, 2020 Draft Minutes

DRAFT

PLANNING COMMISSION MEETING MINUTES

April 28, 2020

PLANNING COMMISSION PUBLIC HEARINGS 7:00 p.m.

1. CALL TO ORDER / ROLL CALL - COMMISSION

Chair McGrade welcomed the public and explained the logistics for the meeting. The roll was taken and all members were present.

Present: Chair McGrade; Commissioner Schlotterbeck; Commissioner Barnes-Ramos; Vice Chair Brattain; Commissioner Phu

2. MATTERS FROM THE AUDIENCE

None

APPROVAL OF MINUTES

3. APPROVAL OF PLANNING COMMISSION MEETING MINUTES OF FEBRUARY 25, 2020.

The Commission had a few corrections:

- Item 12 corrected to show Vice Chair Brattain acted as Chair and opened closed the Public Hearings.
- Item 14 had a speaker listed as Ron Murdock and corrected to Roni Murdock.
- Item 14 Commissioner Schlotterbeck made the motion second by Vice Chair Brattain.
- Item 15 Jeffrey Etnire corrected to Geoffrey Etnire.

Motion was made by Commissioner Schlotterbeck, seconded by Commissioner Phu to approve 2-25-2020 Planning Commission minutes as corrected.

AYES: Chair McGrade, Commissioner Schlotterbeck, Commissioner Barnes-Ramos, Vice Chair Brattain, Commissioner Phu

Passed

PUBLIC HEARINGS

4. CONTINUED FROM FEBRUARY 25, 2020 PLANNING COMMISSION MEETING: ZONE CHANGE NO. ZC 19-01, PLANNED COMMUNITY MASTER PLAN NO. PCMP 19-01, DEVELOPMENT AGREEMENT NO. DA 19-01, AND FINAL ENVIRONMENTAL IMPACT REPORT NO. FEIR 19-01 FOR THE MERCURY RESIDENTIAL DEVELOPMENT PROPOSAL AT THE SOUTHEAST CORNER OF MERCURY LANE AND BERRY STREET

Senior Planner Tinio provided a recap of what the Applicant has requested and what has transpired over the last few meetings. She then provided a PowerPoint overview of the project.

Chair McGrade asked Commissioners to disclose any ex parte communications. Commissioner Schlotterbeck stated she had several conversations with a few residents. No other Commissioners had disclosures.

Commissioners asked questions of Staff regarding Parking and Noise.

Chair McGrade opened the Public Hearing.

Applicant, Dwight Manley, spoke in support of the project.

The Commission heard three people speak in support of the project and three people in opposition to this project. Given the Covid-19 protocols, staff summarized for the record, written comments received prior to the meeting which included four comments in opposition, two in support and one from City Attorney Flower in response to Mr. Geoffrey Etnire.

The Applicant, Dwight Manley, spoke again in favor of the project.

Hearing no further testimony, Chair McGrade closed the Public Hearing.

The Commission discussed the project regarding:

- EIR
- Zone Change
- Development Agreement
- Parking

The Commission discussed options related to parking specifically outlined in Option 2 and Option 3 in the staff report. The majority of the Commission agreed that the project needed additional parking. The Commission recommended that the project provide for a 1.35 parking space per unit ratio. This would consider all 118 spaces in the on-site parking structure and the remaining (36) spaces to be provided in another manner. Discussion continued regarding Option 3 and determined that the applicant should provide all parking on site but would allow the spaces above 118 to be provided in the West Parking Garage, should the Council accept the recommendation. Should the Council not determine this acceptable, the applicant would work with the Community Development Director to find a suitable alternative

location.

City Attorney Flower recommended a recess to allow staff to make adjustments to resolutions and conditions.

Meeting adjourned.

Meeting reconvened and a discussion continued.

City Attorney Flower confirmed the Commission had a consensus moving towards recommending approval of the EIR, the Zone Change of the Master Plan and the Development Agreement in a single resolution with proposed changes to include:

Draft Resolution on Page 9, Section 5 after the parenthetical, subject to the requirements of the MMRP, and the conditions of approval and recommendations set forth respectively in Exhibit B & C to this resolution as set forth in full which are hereby incorporated.

Exhibit B- Conditions of Approval

Condition F - Vehicle parking requirements must be revised to require a minimum of one 1.35 parking stalls per unit and to prohibit any reduction to the number of required parking spaces to accommodate any bicycle parking stalls.

Condition G -

- Off Site Parking -The City may approve and agreement with the applicant to use the City's West Downtown parking garage to meet minimum parking requirements of the project. Use of any other location would be subject to the review and approval by the Community Development Director.
- Designation of reserved truck parking areas on Mercury Lane with appropriate markings and postings.
- No changes shall be made to the cul-de-sac on Mercury Lane as part of the Project.

Condition I

- Add mitigation language for Sound Attenuation
- Adding the language 'Open space in perpetuity'

New Exhibit C - under recommendations -

- The city would designate reserved truck parking areas on Mercury Lane with appropriate postings and signage.
- No changes to City policies that currently prohibit overnight parking on Mercury Lane and Berry Street.
- The Project site shall be added to the route for the micro-transit circulator trolley when the City implements it
- Pedestrian improvements on Mercury would include lighting as part of the Brea Envisions Goals & Objectives

- Bike repair station well maintained and stocked
- Bike share/Car share cleaning, safety Condition referenced in the Development Agreement
- Required disclosure and signed waiver

Motion was made by Commissioner Schlotterbeck, seconded by Commissioner Barnes-Ramos to approve with the amendments that have been discussed including the indemnification clause.

Motion was made by Commissioner Schlotterbeck, seconded by Commissioner Barnes-Ramos to approve with the amendments that have been discussed including the indemnification clause Zone Change No. ZC 19-01, Planned Community Master Plan No. PCMP 19-01, Development Agreement No. DA 19-01, And Final Environmental Impact Report No. FEIR 19-01 for the Mercury Residential Development Proposal at the Southeast Corner of Mercury Lane and Berry Street.

AYES: Chair McGrade, Commissioner Schlotterbeck, Commissioner Barnes-Ramos, Vice Chair Brattain, Commissioner Phu

Passed

5. PRECISE DEVELOPMENT NO. PD 20-01 – A REQUEST TO CONSTRUCT A NEW INDUSTRIAL BUILDING IN THE M-2 (PD), GENERAL INDUSTRIAL (PRECISE DEVELOPMENT) ZONE

Associate Planner Montojo provided a PowerPoint overview of the project.

Commissioner Schlotterbeck disclosed she had visited the site. No other Commissioners provided disclosures.

Chair McGrade opened the Public Hearing.

3 members of the applicant team spoke via Zoom in support of the project.

Hearing no further testimony, Chair McGrade closed the Public Hearing.

After some discussion, the Commission suggested additional conditions be included:

- Existing trees to remain on Berry St
- Electric Vehicle charging stations and bike racks added to the site

Motion was made by Vice Chair Brattain, seconded by Commissioner Phu to approve Precise Development No. Pd 20-01 – A Request to construct a new industrial building In the M-2 (PD), General Industrial (Precise Development) Zone

AYES: Chair McGrade, Commissioner Schlotterbeck, Commissioner Barnes-Ramos, Vice Chair Brattain, Commissioner Phu

Passed

6. GENERAL PLAN AMENDMENT NO. GPA 20-02, ZONE CHANGE NO. ZC 20-02, CONDITIONAL USE PERMIT NO. CUP 20-07, AND CERTIFICATE OF COMPATIBILITY NO. CC 20-01 FOR THE DEVELOPMENT OF A SINGLE-FAMILY RESIDENCE WITH ACCESSORY STRUCTURES AND PRIVATE EQUESTRIAN FACILITIES, AT 109 LILAC LANE

Contract Planner, Vander Dussen provided the presentation

Commissioner Schlotterbeck disclosed she had conversations with multiple residents. Commissioner Barnes-Ramos drove by the site. No other Commissioners had any ex parte disclosures.

Chair McGrade opened the Public Hearing.

Staff summarized two letters that were received prior to the meeting one in support and one with questions and concerns.

One speaker shared concerns about the project. A representative of the Applicant spoke in favor of the project.

Hearing no further testimony, Chair McGrade closed the Public Hearing.

The Commission had some question of staff related to:

- Storm water storage
- Turning radius for fire trucks Water Management Plan CEQA Exemption
- Accessory Dwelling Unit size Fire Hazards
- Private vs Commercial Use equestrian use

Commissioner Schlotterbeck had suggestions for the City to look into given the change in land use:

- Olinda Village should be evaluated for helicopter staging areas
- City should consider other locations for Community recreation nearby

A condition was added to ensure the firewise strategy is included in this project and that the City Engineer verify access and construction phasing.

Motion was made by Commissioner Phu, seconded by Vice Chair Brattain to approve with added conditions General Plan Amendment No. GPA 20-02, Zone Change No. ZC 20-02, Conditional Use Permit No. CUP 20-07, And Certificate Of Compatibility No. CC 20-01 For The Development Of A Single-Family Residence With Accessory Structures And Private Equestrian Facilities, At 109 Lilac Lane.

AYES: Chair McGrade, Commissioner Schlotterbeck, Commissioner Barnes-Ramos, Vice Chair Brattain, Commissioner Phu

Passed

NEW BUSINESS

7. FISCAL YEAR 2020-21 CAPITAL IMPROVEMENT PROGRAM FINDING OF CONFORMANCE WITH THE GENERAL PLAN

City Engineer, Michael Ho, gave a presentation.

Motion was made by Commissioner Schlotterbeck, seconded by Commissioner Barnes-Ramos to approve Fiscal Year 2020-21 Capital Improvement Program Finding Of Conformance with the General Plan.

AYES: Chair McGrade, Commissioner Schlotterbeck, Commissioner Barnes-Ramos, Vice Chair Brattain, Commissioner Phu

Passed

8. REVIEW INFORMATION ON THE BREA PORTION OF THE CARBON CANYON CHANNEL CLASS 1 BIKEWAY (OC LOOP) AND MAKE A DETERMINATION REGARDING ITS CONFORMITY WITH CITY'S GENERAL PLAN

City Engineer, Michael Ho, provided a presentation.

Motion was made by Commissioner Schlotterbeck, seconded by Commissioner Barnes-Ramos to approve Review Information on the Brea Portion of the Carbon Canyon Channel Class 1 Bikeway (OC Loop) and make a determination regarding its Conformity with City's General Plan.

AYES: Chair McGrade, Commissioner Schlotterbeck, Commissioner Barnes-Ramos, Vice Chair Brattain

Other: Commissioner Phu (ABSTAIN)

Passed

ADMINISTRATIVE ITEMS

9. UPDATE TO REGULAR PLANNING COMMISSION MEETINGS

The Commission discussed this item after a brief overview from City Planner Lilley. The Commission had concerns:

- impacts of canceling meetings,
- the ability to call special meetings as needed rather than set a requirement for a schedule of two meetings a month.
- The project schedule supporting the need for changing to two meetings
- Where the need is coming from

After a short discussion with staff the Commission decided to continue this item to the next regularly scheduled Planning Commission Meeting.

Motion was made by Commissioner Schlotterbeck, seconded by Vice Chair Brattain After a short discussion with staff the Commission decided to continue this item to the next regularly scheduled Planning Commission Meeting.

AYES: Chair McGrade, Commissioner Schlotterbeck, Commissioner
Barnes-Ramos, Vice Chair Brattain, Commissioner Phu

Passed

10. COMMITTEE REPORTS

None.

11. INFORMATIONAL / PROJECT UPDATES

None.

12. ADJOURNMENT

Respectfully submitted,

The foregoing minutes are hereby
approved this 26 day of May 2020.

Jennifer A. Lilley, AICP, City Planner

James McGrade, Chair

City of Brea

PLANNING COMMISSION COMMUNICATION

TO: Honorable Chair and Planning Commission

FROM: Jennifer A. Lilley, AICP, City Planner

DATE: 05/26/2020

SUBJECT: Precise Development No. PD 20-03 and Conditional Use Permit No. CUP 20-09 for the Development of a Residential Care Facility for Assisted Living and Memory Care at 251 South Randolph Avenue

REQUEST

This is a request for a Conditional Use Permit to allow a new residential care facility with assisted living and memory care services and consideration of a reduction to the parking requirement related to the residential care use and a Precise Development for site design. The project is located in the C-P (PD), Administrative and Professional Office (Precise Development) zone.

RECOMMENDATION

Staff recommends the Planning Commission adopt a Resolution approving Precise Development No. PD 20-03 and Conditional Use Permit No. CUP 20-09, subject to the recommended conditions of approval.

BACKGROUND/DISCUSSION

The property site is located at the southwest corner of Madison Way and Randolph Avenue at 251 South Randolph Avenue. The subject site is approximately 2.11 acres and is developed with three buildings, see Figure 1: Vicinity Map. The property was previously occupied by the Grace Covenant Community Church and owned by the Gateway Seminary of the Southern Baptist Convention.



Figure 1: Vicinity Map

The existing buildings would be demolished to accommodate the new residential care facility. The property has a General Plan designation of Office/Financial and is zoned C-P (PD). The list of surrounding uses and further technical information is included in Attachment 2, Technical Background.

DISCUSSION

The applicant proposes to construct a residential care facility with assisted living and memory care services. The proposed use is allowed within the C-P zone with a CUP. Additionally, the applicant requests to modify the parking standards. Modification of parking

standards can be considered with review and approval of a CUP. A parking study was completed to inform the proposed modified parking standards and is discussed later in this report.

Precise Development

The proposed project is a two-story residential care facility with two internal courtyards. The project would include a total of 80 units consisting of 58 assisted living beds and an additional 24 memory care beds. Two of the memory care units offer two beds in the unit. There is a total of 28,509 square feet of living space and an additional 17,311 square feet of supportive uses such as office space, dining areas and common recreation areas. The surface parking spaces are surrounded by a landscaped parkway along South Randolph Avenue and Madison Way, see below for an illustrative site plan, Figure 2. The proposed project meets all development standards for the C-P zone as demonstrated in Table 1.



Figure 2: Proposed Site Plan

Table 1 – C-P Development Standards

Development Standards	Required	Proposed
Building Height	30 feet	27 feet, 3 inches
Front Yard Setback	Not less than 15 feet and not used for off-street parking.	38 feet
Side Yard Setback	Not less than 15 feet and not used for off-street parking.	70 feet, 8.5 inches
Floor Area Ratio	Gross floor area of main building(s) shall not exceed fifty percent of the total lot area (46,043 square feet)	45,937 square feet
Off-street parking requirement proposed to be modified as part of the conditional use permit. See description in the following section.		

The proposed architecture is Spanish style, with a terracotta tile roof, two-tone beige stucco exterior and grey siding. The parcel slopes down to the west as shown in Figure 3 and 4. The building is two levels of usable space on the western half of the parcel and one level on the eastern half. The proposed project does not exceed the maximum height or floor area ratio (FAR) allowed in the C-P zone and is consistent in form, massing and architectural style with the surrounding developments. The proposed project fulfills the City's Art in Public Places requirements including a public art sculpture at the northeast corner of the property.



Figure 3: Proposed Elevation

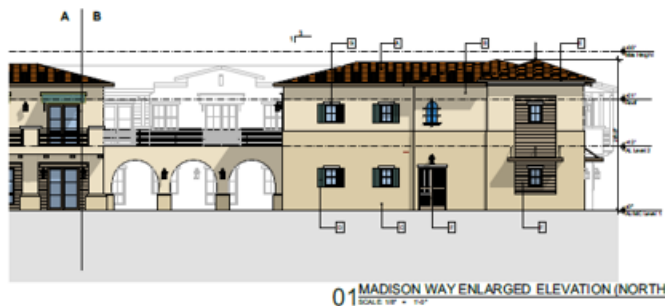


Figure 4: Proposed Elevation

Conditional Use Permit

Brea City Code Section 20.224.020 allows residential care facilities in the C-P zone with approval of a CUP. The proposed use is residential in nature providing senior assisted living

accommodations and in keeping with the goals and objectives of the General Plan. The project is not anticipated to be more intensive of a land use than was envisioned by the General Plan. The site is bordered by residential uses to the west, the Community Center to the north and commercial uses to the south and east, see Figure 5: Existing Zoning. The proposed use is anticipated to operate in compliance with the zone and compatibly with the surrounding neighborhood. Vehicle trips associated with the proposed use have been determined to be in compliance with the land use designation provided for and reviewed by the General Plan. All operations and characteristics are in keeping with the zone and given the residential nature of the proposed use is a compatible transition use for the adjacent residential and commercial neighbors.

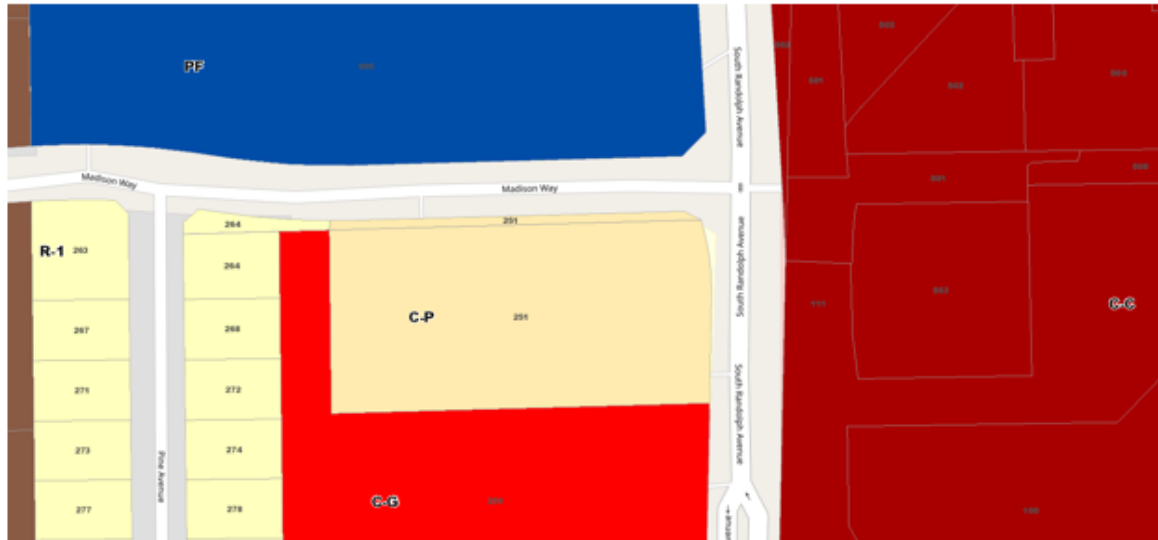


Figure 2: Existing Zoning

Brea Parking standards require 5.5 parking spaces for every 1,000 square feet of residential care facilities, convalescent or nursing home uses. This current Code requirement does not take into account the number of residents, type of facility or other characteristics to distinguish operational or need associated with the land use. As submitted, this project would require 252 parking spaces for the 45,820 square foot, 82 bed facility. However, since parking for uses like this can vary significantly from project to project, the applicant has requested a Conditional Use Permit to consider reducing the parking requirements. A parking study was prepared by Linscott, Law & Greenspan Engineers (LLG), the City's traffic engineering consultant, to show the operational needs associated with this specific use, see Attachment 5. The conclusions of the study are summarized as follows:

1. Based on empirical data collected by LLG, a ratio of 0.51 spaces per bed is needed to accommodate parking demand for the memory care units. In 2017, this same ratio was approved by the Planning Commission for the Silverado Memory Care Facility.
2. Based on empirical data collected by LLG and parking ratios for assisted living facilities included in the latest Institute of Traffic Engineers (ITE) Parking Generation Manual, a ratio of 0.58 spaces per bed is needed to accommodate parking demand for the assisted living units.
3. The proposed supply of 43 parking spaces would result in a probable surplus of eight spaces on weekdays and three spaces on weekends.

The following table summarizes the proposed parking requirement:

Project Component	Ratio	No. Spaces
Memory Care	0.51 spaces/bed 24 beds	12.2
Assisted Living	.58 spaces/bed 58 beds	30.2
Total		43

ENVIRONMENTAL ASSESSMENT

The proposed project is exempt from the requirement of the California Environmental Quality Act (CEQA) pursuant to Section 15302 of Title 14, Chapter 3, Article 19 of the California Code of Regulations, regarding the replacement or reconstruction of existing structures and facilities where the new structure would be located on the same site as the structure replaced and would have substantially the same purpose and capacity.

RESPECTFULLY SUBMITTED

Jennifer A. Lilley, AICP, City Planner

Prepared by: Sheri Vander Dussen, AICP, Contract Planner

Attachments

1. Draft Resolution
 2. Technical Background
 3. Vicinity Map
 4. Public Hearing Notice
 5. Parking Study
 6. Project Plans
-

RESOLUTION NO. PC 2020-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING PRECISE DEVELOPMENT NO. PD 20-03 AND CONDITIONAL USE PERMIT NO. CUP 20-09, ALLOWING THE DEVELOPMENT OF A RESIDENTIAL CARE FACILITY AND MODIFICATION OF PARKING STANDARDS AT 251 SOUTH RANDOLPH AVENUE, SUBJECT TO CONDITIONS AS SET FORTH HEREIN

A. RECITALS:

(i) On May 26, 2020, the Planning Commission of the City of Brea held a duly noticed public hearing, as required by law, on Precise Development No. PD 20-03 and Conditional Use Permit No. CUP 20-09, a request to allow the development of a residential care facility for assisted living and memory care.

(ii) The project proponent is Brandywine Homes, 16580 Ashton, Irvine, CA 92606.

(iii) The property owner is Gateway Seminary of the Southern Baptist Convention, 251 S. Randolph Avenue, Brea CA 92821.

(iv) The subject property is located at 251 South Randolph in the City of Brea and is legally described as Map Book 319, page 321, parcel 01, and Map Book 319, page 223, parcel 03) as shown in the latest records of the County of Orange Assessor's Office.

(v) The property is zoned C-P (PD) - Administrative and Professional Office (Precise Development).

(vi) All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION:

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Planning Commission hereby finds that the project identified above in this Resolution is exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Section 15302 of Title 14, Chapter 3, Article 19 of the California Code of Regulations.

3. The Commission further finds in consideration of Conditional Use Permit No. CUP 20-09 as follows:

a. Finding: That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized by this title.

Fact: The proposed site is zoned C-P (PD), Administrative and Professional Office, with a Precise Development Overlay. The proposed residential care facility is permitted, subject to Planning Commission review and approval of a Conditional Use Permit. The residential care facility will be compatible with surrounding land uses, which include the Brea Mall, commercial office uses, a community center, and single-family homes.

b. Finding: That the use, with any conditions to be imposed, is necessary or desirable for the development of the community, in harmony with the various elements or objectives of the General Plan and not detrimental to existing uses or uses permitted in the zone in which the proposed use is to be located.

Fact: The project is consistent with General Plan Goal HE-2, which seeks to assist in the provision of adequate housing to meet the needs of the community. Further, Policy 2.5 seeks to facilitate the development of senior housing with supportive services. The proposed residential care facility includes

assisted living and memory care, providing professional care for seniors who need assistance with daily living activities. The residential care facility will not generate noise, parking, or other undesirable impacts that will be incompatible with surrounding uses.

c. Finding: The site is adequate in size and shape to accommodate the proposed development and all of the yards, setbacks, walls or fences, landscaping and other features required to bring about conformity with other elements in the neighborhood.

Fact: The residential care facility complies with all applicable provisions of the Brea City Code. The Conditional Use Permit includes a modification to the city's parking standards based on and supported by an independent parking study. The study concluded that 43 parking spaces will be adequate to meet the anticipated demand for parking. This parking study was based on the current ITE Parking Generation Manual, as well as empirical parking ratios observed at similar facilities.

d. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed development.

Fact: Vehicular access will be provided from Madison Way and South Randolph Avenue. The existing roadways were designed to carry the traffic generated by the use. The project is not anticipated to generate more traffic than a permitted office based on the proposed operational characteristics of existing residential care facilities.

e. Finding: That with the conditions stated in the permit, the uses will not adversely affect the public, health, safety, or general welfare.

Fact: The project will provide necessary building and life-safety systems to meet all State and local standards, thereby ensuring the safety of those using the building and occupying buildings nearby.

4. Precise Development No. PD 20-03 and Conditional Use Permit No. CUP 20-09 is hereby approved, subject to conditions as set forth herein:

- a. Development and business operations shall occur in substantial conformance with the site plan, floor plan and project description submitted to the Planning Commission and dated May 26, 2020, on-file in the Planning Division, the conditions contained herein, and all applicable Federal, State and City regulations.
- b. The operation shall be limited to 58 beds within assisted living units and 24 beds within memory care units.
- c. Operation of the facility shall be consistent with the assumptions analyzed in the Parking Demand Analysis prepared by Linscott Law & Greenspan Engineers dated April 28, 2020. Should any parking impacts occur, the property owner must immediately remedy to the satisfaction of the Community Development Director and the City Engineer. Remedies may include but not be limited to reduction of beds, updated parking study (prepared by a parking consultant/registered Civil Engineer), parking management plan, valet services, and/or other strategies provided by a parking consultant.
- d. All designs shall comply with the Codes in effect at the time of permit application submittal.
- e. Generators and other noise producing equipment shall be placed and designed to reduce or eliminate noise. The generator shall be enclosed within the building. If only an external installation is possible, the generator shall be within a fully enclosed feature including screen walls, roofing and other material to sufficiently reduce/eliminate any potential noise issues as well as appropriate landscaping or other material to screen the enclosure. The applicant shall provide appropriate specifications and/or noise study to demonstrate decibel levels and/or minimizing of noise impacts. Said screening shall be architecturally compatible with the building and

landscaping shall require review and approval by the Community Development Department prior to issuance of building permits.

- f. No trash or refuse container enclosures shall be located within existing or proposed easements.
- g. Prior to demolition of any buildings on-site, the applicant shall submit a demolition permit and asbestos testing subject to the review and approval of the Building Division.
- h. Prior to the issuance of a grading permit, the applicant shall submit a final Hydrology and Hydraulic Study subject to the review and approval of the City Engineer. At a minimum, the Hydrology and Hydraulic Study shall demonstrate compliance with the following criteria:
 - 1) Adjacent properties, streets, and existing storm drain systems are not negatively impacted by the proposed development.
 - 2) No property drainage shall be allowed to cross sidewalks, parkways, or drive approaches. Yard basins, concrete gutters, under sidewalk (parkway) drains, and storm drain lines shall be constructed to adequately drain the property.
- i. Prior to the issuance of a grading permit, the applicant shall submit a final Water Quality Management Plan, subject to the review and approval of the City Engineer.
- j. Prior to the issuance of a grading permit, the applicant shall submit a final Sewer Study, subject to the review and approval of the City Engineer.
- k. Prior to the issuance of a grading permit, the applicant shall submit a CCTV video inspection of the existing sewer lateral of the existing condition prior to approval to connect, subject to the review and approval of the City Engineer. If the existing sewer lateral is not suitable to connect to, the applicant shall be responsible to construct a new sewer lateral for the proposed development.
- l. Prior to the issuance of a grading permit, the applicant shall submit public improvement plans, subject to the review and approval of the City Engineer. The plans shall be prepared by a Registered Civil Engineer in accordance with City of Brea Public Works Standards. All public improvements shall be shown on Public Improvement Plans prepared separately from the on-site improvement plans. The Public Improvement Plans shall include, but are not limited to, the following features:

- 1) Removal of the existing ramp at the southwest corner of S. Randolph Avenue and Madison Way, and construction of a new ramp in accordance with the latest Americans with Disabilities Act (ADA) regulations and City of Brea Standards.
 - 2) Removal of existing driveways on S. Randolph Avenue and Madison Way, and construction of new driveway approaches in accordance with the latest ADA regulations and City of Brea Standards. The radius for the proposed driveway approaches shall be R=15.0' minimum with exception of the southerly curb return of the driveway on S Randolph Avenue. The radius for this return is to be 10-ft minimum to accommodate the existing parkway drain.
 - 3) Any curb cores for existing curb drains or parkway drains that are proposed to be abandoned shall be removed and replaced with new curb and gutter.
 - 4) Remove, replace, and/or relocate all existing improvements interfering with the proposed improvements. This includes, but not limited to, the relocation of existing power poles, underground utility vaults, vent pipes, catch basins, and pavement.
 - 5) Any existing water services to be abandoned shall be abandoned at the water main. The existing gate valve and valve can for the fire water service shall be removed and replaced with blind-flange. The existing corporation valves for the domestic and irrigation services shall be removed at the water main and stainless steel full clamps shall be installed.
 - 6) No water meters and/or City owned utility vaults are to be located within driveway approaches.
- m. The plans shall demonstrate that ADA features comply with applicable requirements. The path of travel from the public right of way shall be updated and an accessible path shall be provided to the proposed common area.
- n. The application for the building permit shall include five complete sets of plans, including structural calculations, mechanical engineering, Title 24 calculations, and fire and life safety analysis with occupant loads.
- o. Prior to the issuance of building permits, the applicant shall submit a Fire Master Plan, subject to the review and approval of the Fire Department.

- p. Prior to the issuance of a certificate of occupancy, the applicant shall complete, to the satisfaction of the City Engineer, all required public improvements, including any field punch list items.
- q. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of this Precise Development No. PD 20-03 and Conditional Use Permit No. 20-09; and (ii) any and all claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this Conditional Use Permit and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this Conditional Use Permit. Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

5. The Secretary of this Commission shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED this 26th day of May, 2020.

Chairman, Planning Commission

I, Jennifer A. Lilley, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 26th day of May, 2020, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 26th day of May, 2020, by the following vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSENT: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:

ATTEST: _____
Secretary, Planning Commission

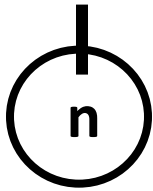
TECHNICAL BACKGROUND

Case No:	Conditional Use Permit No. CUP 20-09
Property Location:	251 South Randolph
Applicant:	Brandywine Homes 16580 Aston Irvine, CA 92606
General Plan Designation:	Office/Financial
Zoning Designation:	Administrative and Professional Office (Precise Development Overlay)
Adjacent Zoning	
North:	PF, Public Facilities
South:	C-G, General Commercial
West:	C-G, General Commercial
East:	C-C, Major Shopping Center
Site and Neighborhood Characteristics:	The subject property is located at the southwest corner of the intersection of S Randolph Avenue and Madison way. The project area is located near the civic core of the city surrounded by commercial, office, residential, and public facility uses.
Public Hearing Notices and Outreach:	Notices were sent to 40 property owners within a 500-foot radius of the subject property.

ATTACHMENT 3



**SUBJECT PROPERTY
AND VICINITY MAP**



DATE: May 26, 2020
CASE NO: CUP 20-09

TO: Property Owners within a 500-Foot Radius

FROM: City of Brea, Community Development Department

SUBJECT: PRECISE DEVELOPMENT NO. PD 20-03 AND CONDITIONAL USE PERMIT NO. CUP 20-09

NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

DATE AND TIME: Tuesday, May 26, 2020, 7:00 p.m.
OF HEARING: *All interested persons may appear and be heard at that time.*

PLACE OF HEARING: Brea Civic & Cultural Center, Council Chambers
 1 Civic Center Circle, Brea, CA 92821

PURSUANT TO THE LOCAL EMERGENCY CONCERNING THE COVID-19 VIRUS DECLARED BY THE CITY COUNCIL OF THE CITY OF BREA ON MARCH 19, 2020, AND EXECUTIVE ORDER N-29-20 ISSUED BY GOVERNOR GAVIN NEWSOM ON MARCH 18, 2020, THE PLANNING COMMISSION MEETING MAY BE CONDUCTED IN WHOLE OR IN PART BY TELECONFERENCE.

FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714)990-7674 OR BY EMAILING planning@cityofbrea.net. ALL PERSONS WISHING TO PARTICIPATE BY TELECONFERENCE SHOULD CONTACT THE CITY NO LATER THAN NOON ON MAY 26, 2020.

REQUEST: The proposed project would develop an approximately 2.11-acre parcel with a residential care facility providing assisted living and memory care within the Administrative and Professional Office (C-P) (Precise Development Overlay) zone. The Conditional Use Permit request also includes a modification to required parking standards.

PROPERTY INVOLVED: 251 South Randolph (APN 319-223-03 & 319-321-01)

APPLICANT: Brandywine Homes
 16580 Aston, Irvine, CA 92606

PROPERTY OWNER: Gateway Seminary of the Southern Baptist Convention
 251 S. Randolph Ave. Brea

ENVIRONMENTAL INFORMATION: The City of Brea has determined that the proposed project is exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 of said act.

AREA MAP:



IF YOU CHALLENGE THIS PRECISE DEVELOPMENT NO. PD 20-03 AND CONDITIONAL USE PERMIT NO. CUP 20-09 AND/OR RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.

FOR FURTHER INFORMATION ON THIS SUBJECT, PLEASE CONTACT THE PLANNING DIVISION AT (714) 990-7674.

COMMUNITY DEVELOPMENT DEPARTMENT

Jennifer A. Lilley
 Jennifer A. Lilley, AICP, City Planner

CITY OF BREA notice of public hearing



April 28, 2020

Ms. Sheri Vander Dussen
City of Brea
1 Civic Center Circle
Brea, CA 92821

LLG Reference: 2.20.4282.1

Subject: **Revised**
Parking Demand Analysis for the Proposed
Alvero Assisted Living/Memory Care Project
Brea, California

Engineers & Planners

Traffic
Transportation
Parking

Linscott, Law & Greenspan, Engineers

2 Executive Circle
Suite 250
Irvine, CA 92614

949.825.6175 T
949.825.6173 F
www.llgengineers.com

Pasadena
Irvine
San Diego
Woodland Hills

Dear Ms. Vander Dussen:

Linscott, Law & Greenspan, Engineers (LLG) is pleased to submit the findings of this Parking Demand Analysis for the proposed Alvero Assisted Living/Memory Care Project located at 251 South Randolph Avenue in the City of Brea, California. This letter report updates our prior study dated April 17, 2020 to address City comments.

This analysis estimates the potential parking needs associated with the Project, and compares it against the proposed supply to identify any parking surplus or deficiency with development of the Project.

PROJECT LOCATION AND DESCRIPTION

The Project applicant is proposing to construct a 46,820-SF assisted living/memory care community with 58 beds within 58 assisted living dwelling units and 24 beds within 22 memory care dwelling units. The Project will include three shifts consisting of a maximum of 50 employees on a typical day. The development will include 43 parking spaces for employees and visitors. **Figure 1**, attached, presents a Vicinity Map that illustrates the general location of the Project site and surrounding street system and **Figure 2** presents the proposed site plan.

BREA CITY CODE PARKING REQUIREMENTS

The top portion of **Table 1** presents the City Code parking requirement for the Project based on direct application of the City Code parking ratio for "residential care facilities, convalescent and nursing homes, homes for the aged" (5.5 parking spaces

Philip M. Linscott, PE (1924-2000)
Jack M. Greenspan, PE (Ret.)
William A. Law, PE (Ret.)
Paul W. Wilkinson, PE
John P. Keating, PE
David S. Shender, PE
John A. Boorman, PE
Clare M. Look-Jaeger, PE
Richard E. Barretto, PE
Keil D. Maberry, PE

per 1,000 SF), which is based on the Brea City Code *Chapter 20.08.040, Section D: Parking space requirements*, as follows:

<i>Sanitariums, asylums, residential care facilities, convalescent and nursing homes, homes for the aged, rest homes</i>	<i>Five and one-half (5½) spaces per one thousand (1,000) square feet.</i>
--	--

The City Code-based parking requirement for the Project totals 258 spaces, and corresponds to a Code-based deficiency of 215 spaces when compared to the proposed on-site supply of 43 spaces. The actual parking requirements for assisted living/memory care communities have been found to be less than the City Code requirement. Exceptions or modifications to Code-based off-street parking requirements substantiated by a parking study may be permitted subject to the approval of a conditional use permit application in accordance with the provisions of the Brea City Code *Chapter 20.08.040, Section F: Exceptions or modifications to off-street parking requirements*, as follows:

The provisions of this section are intended to meet the minimum design needs for off-street parking under most conditions. Where, because of the use involved or other relevant circumstances, the requirements of this section are considered to be excessive, exceptions and modifications to these provisions may be approved in accordance with the following procedure provided such exceptions and modifications are consistent with the purpose and intent of this section:

- 1. Any property owner, his or her authorized agent or the city may apply for exceptions to, or modifications of, the off-street parking regulations.*
- 2. a. Exceptions to, or modifications of the off-street parking requirements as they relate to shared parking and/or the location of off-street parking may be permitted subject to the approval of a conditional use permit application in accordance with the provisions of § 20.408.030 of this title.*
- b. If parking space requirements for any specific use are not contained herein, the Planning Commission, upon recommendation of the city staff, shall determine the parking requirements for said use. There shall be no application fee for this procedure.*

The Project qualifies for this exception/modification based on the findings of this study.

ASSISTED LIVING PARKING RATIOS FROM OTHER SOURCES

As the middle portion of *Table 1* indicates, the latest ITE *Parking Generation Manual* (5th Edition, January 2019) includes 85th percentile ratios and average ratios for “Assisted Living” communities. In addition, empirical parking ratios for Assisted Living uses from LLG’s prior studies for Oakmont Senior Living projects in Whittier and Valencia are presented in *Table 1*. The application of these ITE and empirical ratios result in total demand estimates that account for the parking needs of both employees and visitors.

Table 1 summarizes the parking requirements for the Assisted Living component (58 beds) of the proposed Project using these ITE peak parking ratios and empirical parking ratios for Assisted Living uses. As shown, application of ITE and empirical peak parking ratios to the Project results in a parking requirement of 21 to 34 parking spaces. The 34-space demand resulting from the application of ITE’s 85th percentile ratio of 0.58 spaces per bed is considered to be the most conservative estimate of the Project’s parking needs (employee and visitor demand) for the Assisted Living component.

This 34-space peak demand correlates with the greatest number of employees (based on peak shift/load) and visitors associated with the Assisted Living units during a typical weekday. Assisted Living parking needs during all other hours of a typical weekday and weekend are expected to be less than the 34-space peak demand.

MEMORY CARE EMPIRICAL PARKING RATIOS

As part of LLG’s prior studies for the Silverado Memory Care project in the City, parking demand counts were previously conducted at existing Memory Care communities (located in San Juan Capistrano, Rancho Santa Margarita, Newport Mesa, and Escondido). Based on operational characteristics of these existing facilities, these communities are considered to be representative of, and comparable with, the Project’s Memory Care component.

Based on employee shifts, typical activities during the lunch hour, and visitor parking needs, it was determined that the peak parking demand on a typical weekday and Saturday typically occurs at 12:00 noon.

The empirical parking ratios derived from the demand counts performed at the four comparable Memory Care communities indicated that empirical ratios were greater during weekday conditions compared to Saturday conditions. This characteristic observed was validated by the fact that the peak employee shift/load occurs on weekdays from 6:30am to 2:30pm. The weekday empirical ratios derived were 0.45, 0.47, 0.49, and 0.51 spaces per bed for the San Juan Capistrano, Rancho Santa Margarita, Newport Mesa, and Escondido communities, respectively.

Based on the application of the greatest empirical ratio of 0.51 spaces per bed to the 24 beds proposed, the Project's peak parking demand for the Memory Care units is estimated to be 12 spaces. This 12-space peak demand at 12:00noon is representative of the greatest number of Memory Care employees (based on peak shift/load) and visitors during a typical weekday. Memory Care parking needs during all other hours of a typical weekday and weekend are expected to be less than the 12-space peak demand for this component of the Project.

THEORETICAL ESTIMATION OF PARKING DEMAND

Table 1 summarizes the parking requirements for the proposed Project using the ITE peak parking ratio of 0.58 spaces per bed for the Assisted Living component, and the maximum empirical ratio of 0.51 spaces per bed for the Memory Care component. As shown in the table, the theoretically estimated peak demand of 46 spaces for the Project consists of 34 spaces for the Assisted Living units and 12 spaces for the Memory Care units. With a proposed parking supply of 43 spaces, the Project has a theoretical parking deficiency of 3 spaces. This 3-space deficiency during the one peak demand hour is unlikely to occur because it results from the very conservative step taken in applying the ITE 85th percentile ratio of 0.58 spaces per bed to the Assisted Living units (given that the other empirical ratios presented in *Table 1* are less than ITE's 85th percentile ratio).

PRACTICAL ESTIMATION OF PARKING DEMAND

The practical estimation of parking demand is based on anticipated operational parameters and activity levels for the Project that were determined in discussions with the City and the applicant. Based on project information provided by the Project applicant, the operational parameters anticipated for the Project include:

- On a weekday, staffing for the project will have 3 shifts: 6am – 2pm, 2pm – 10pm, 10pm - 6am. It is expected that there will be approximately 25 employees during the 6am – 2pm shift, 20 employees during the 2pm – 10pm shift, and 5 employees during the 10pm – 6am shift, totaling 50 employees.
- On a weekend day, staffing for the project will have 3 shifts: 6am – 2pm, 2pm – 10pm, 10pm - 6am. It is expected that there will be approximately 20 employees during the 6am – 2pm shift, 15 employees during the 2pm – 10pm shift, and 4 employees during the 10pm – 6am shift, totaling 39 employees.
- During the 12noon – 1pm peak time period on a typical weekday, there could be approximately 8 to 10 visitors during the peak hour. These visitor activity

Ms. Sheri Vander Dussen
April 28, 2020
Page 5



levels on weekdays are generally consistent with other assisted living and memorial care communities previously evaluated by LLG.

- During the 12noon – 1pm peak time period on a typical weekend day, there could be approximately 18 to 20 visitors during the peak hour. These visitor activity levels on weekends are generally consistent with other assisted living and memorial care communities previously evaluated by LLG.

The bottom portion of *Table 1* indicates that from a practical estimation standpoint, based on the anticipated operational parameters of the Project, and a very conservative assumption of one vehicle (or parking space) for each employee or visitor (because some employees and visitors could carpool, take transit, or arrive by other non-vehicular means), a most probable demand of 35 spaces is estimated (25 employee spaces plus 10 visitor spaces) on a weekday, and 40 spaces is estimated (20 employee spaces plus 20 visitor spaces) on a weekend day. Comparing the 35- to 40-space demand against the future on-site supply of 43 spaces results in a probable surplus of 8 spaces on weekdays and 3 spaces on weekends.

CONCLUSIONS

Based on the above, we conclude that the proposed supply of 43 on-site spaces will be adequate in meeting the Project's total parking needs.

We appreciate the opportunity to prepare this Parking Demand Analysis. Should you have any questions or need additional assistance, please do not hesitate to call us at (949) 825-6175.

Very truly yours,

Linscott, Law & Greenspan, Engineers

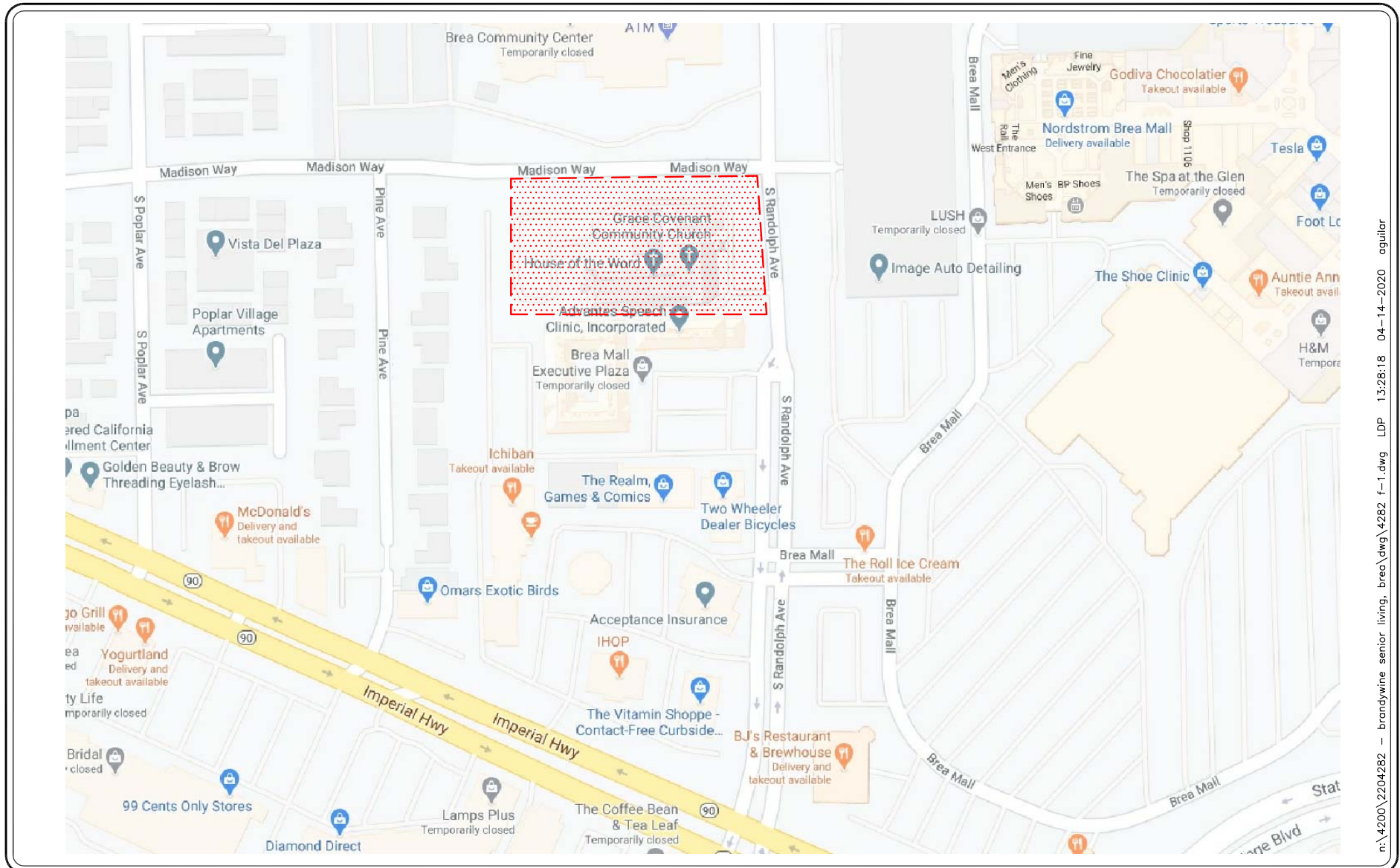
A handwritten signature in blue ink, reading "Trissa (de Jesus) Allen", is located below the company name.

Trissa (de Jesus) Allen, P.E.
Senior Transportation Engineer

Attachments

TABLE 1
PARKING SUMMARY
Alvero Senior Assisted Living/Memory Care, Brea

Description	SF, Beds, or Employees	Parking Spaces
<u>Brea City Code Parking Calculation</u>		
Based on "residential care facilities, convalescent and nursing homes, homes for the aged"	46,820 SF	258
5.5 spaces per 1,000 SF		
Brea City Code Required Project Parking:		258
Proposed Supply:		43
Code-based Parking Deficiency:		215
<u>Theoretical Estimation of Parking Demand</u>		
<u>Assisted Living Parking Ratios</u>		
ITE 5th Edition (85th percentile): 0.58 sp per bed	58	34
Oakmont Senior Living, Whittier: 0.55 sp per bed	58	32
ITE 5th Edition (average): 0.39 sp per bed	58	23
Oakmont Senior Living, Valencia: 0.37 sp per bed	58	21
<u>Memory Care Parking Ratios</u>		
From LLG's Prior Empirical Studies with	24	
Maximum Empirical Ratio: 0.51 sp per bed		12
Theoretical Project Parking Demand:		46
Proposed Supply:		43
Theoretical Parking Deficiency:		3
<u>Practical Estimation of Demand</u>		
Peak employee shift (Mon to Fri, 6am to 2pm)	25	25
Peak number of weekday visitors	10	10
Probable Project Weekday Demand:		35
Proposed Supply:		43
Probable Weekday Parking Surplus:		8
Peak employee shift (Sat to Sun, 6am to 2pm)	20	20
Peak number of weekend visitors	20	20
Probable Project Weekend Demand:		40
Proposed Supply:		43
Probable Weekend Parking Surplus:		3



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**LINSCOTT
LAW &
GREENSPAN**
engineers



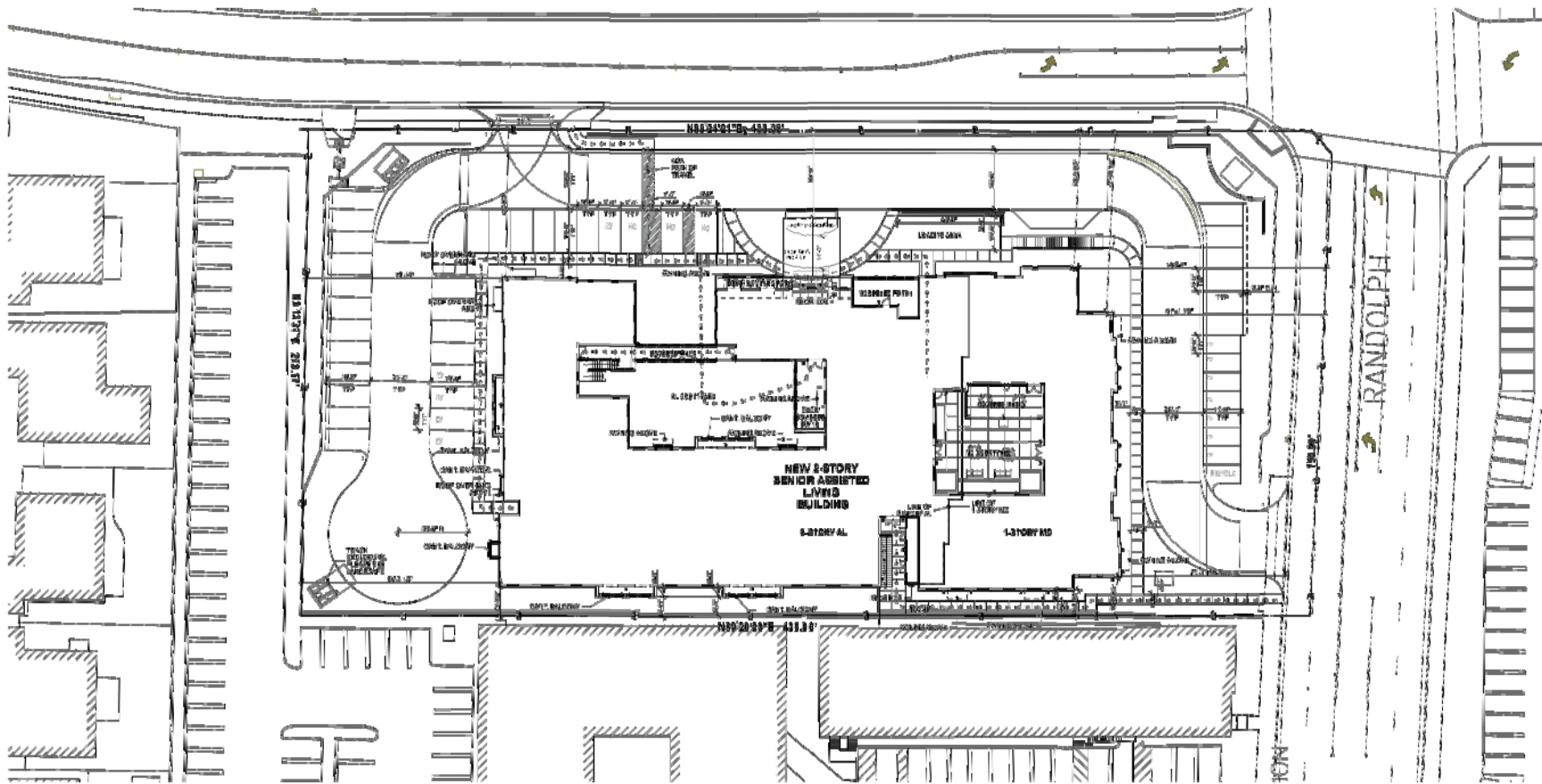
SOURCE: GOOGLE

KEY

 = PROJECT SITE

FIGURE 1

VICINITY MAP
BRANDYWINE SENIOR LIVING, BREA



n:\4200\2204282 - brandywine senior living, brea\dwg\4282 f-2.dwg LDP 13:17:58 04-14-2020 agular

SOURCE: IPA ARCHITECTS

FIGURE 2

PROJECT SITE PLAN

BRANDYWINE SENIOR LIVING, BREA



NO SCALE

ALVERO

Senior Assisted Living

Brandywine Homes

PROJECT DATA & INFORMATION

PROJECT DESCRIPTION

COMPLETE DEMOLITION OF 3 EXISTING CHURCH, SEMINARY SCHOOL AND DORMITORY BUILDINGS ON THE SITE TO BE REPLACED WITH PROPOSED NEW 2-STORY SENIOR CARE FACILITY TO INCLUDE 22 MEMORY CARE UNITS WITH 24 BEDS, AND 58 ASSISTED LIVING UNITS WITH 58 BEDS. THE BUILDING SHALL BE TYPE V CONSTRUCTION WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

PROJECT ADDRESS

251 SOUTH RANDOLPH AVE
BREA, CA 92821

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: (APN: A PORTION OF 319-321-01)

LOT 14 OF TRACT NO. 258, AS SHOWN ON A MAP RECORDED IN BOOK 18, PAGE 7 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

PARCEL 2: (APN: 319-223-03 AND A PORTION OF APN: 319-321-01)

PARCEL 1 OF LOT LINE ADJUSTMENT NO. LL 34-88 RECORDED NOVEMBER 3, 1988 AS INSTRUMENT 88-566621 OF OFFICIAL RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 13 OF TRACT NO. 258 AS SHOWN ON A MAP RECORDED IN BOOK 18, PAGE 7 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, ALONG WITH THAT PORTION OF LOT 12 OF SAID TRACT NO. 258 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 12; THENCE ALONG THE WESTERLY LINE OF SAID LOT NORTH 1 DEGREE 11' 30" EAST 10.41 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 830.00 FEET, A RADIAL THROUGH SAID POINT BEARS NORTH 0 DEGREE 11' 22" EAST; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 1 DEGREE 45' 52" AN ARC DISTANCE OF 25.56 FEET TO A TANGENT LINE, PARALLEL WITH AND 10.00 FEET NORTHERLY, MEASURED AT RIGHT ANGLES FROM THE SOUTHERLY LINE OF SAID LOT 12; THENCE ALONG SAID LINE NORTH 88 DEGREE 25' 30" EAST 407.83 FEET TO THE NORTHEASTERLY LINE OF SAID LOT 12; THENCE SOUTH 43 DEGREE 04' 44" EAST 13.35 FEET TO THE SOUTHEAST CORNER OF SAID LOT 12; THENCE SOUTH 88 DEGREE 25' 30" WEST 442.74 FEET ALONG THE SOUTHERLY LINE OF SAID LOT 12 TO THE POINT OF BEGINNING.

PROPOSED LAND USE - USE TITLE 6516 -LICENSED RESIDENTIAL CARE FACILITY

SITE DATA

GROSS SITE AREA	92,086 SF (2.114 ACRES)
NET GROSS AREA	83,505 SF (1.917 ACRES)
BUILDING FOOTPRINT	26,920 SF
FLOOR AREA RATIO	(50%) 46,043 SF ALLOWED
	(49.9%) 45,937 SF PROVIDED
TOTAL PROPOSED DWELLING UNITS	80 UNITS / 29,509 SF
PROPOSED DENSITY (UNITS/NET ACRE)	80 / 1.917 = 41.73
ALLOWABLE AREA	165,000 SF/FLOOR
	PER CBC 2016 TABLE 506.2
LANDSCAPE AREA	20,337 SF
PARKWAY LANDSCAPE	1,430 SF
PEDESTRIAN HARDSCAPE	8,152 SF
VEHICULAR HARDSCAPE	28,840 SF

PARKING

ACCESSIBLE SPACES REQUIRED PER CBC TABLE 11a (2% OF 80 UNITS) = 1.6
2 SPACES (1 VAN & 1 ACCESSIBLE)

ELECTRIC VEHICLE CHARGING SPACE PER CAL GREEN CODE 4.106.4.2 (10% OF TOTAL PARKING SPACES) = 4.1
5

SPACES PROVIDED: **41**

BUILDING CONSTRUCTION

OCCUPANCY TYPES: **R2.1**
CONSTRUCTION TYPE: **TYPE V-A, FULLY SPRINKLERED**
SPRINKLERS: **YES**
ALLOWABLE BUILDING HEIGHT: 30'-0" PER CITY OF BREA C-P ZONING
ACTUAL BUILDING HEIGHT: **MAX. 29'-1"**
ACTUAL BUILDING AREA: **46,820 SF**

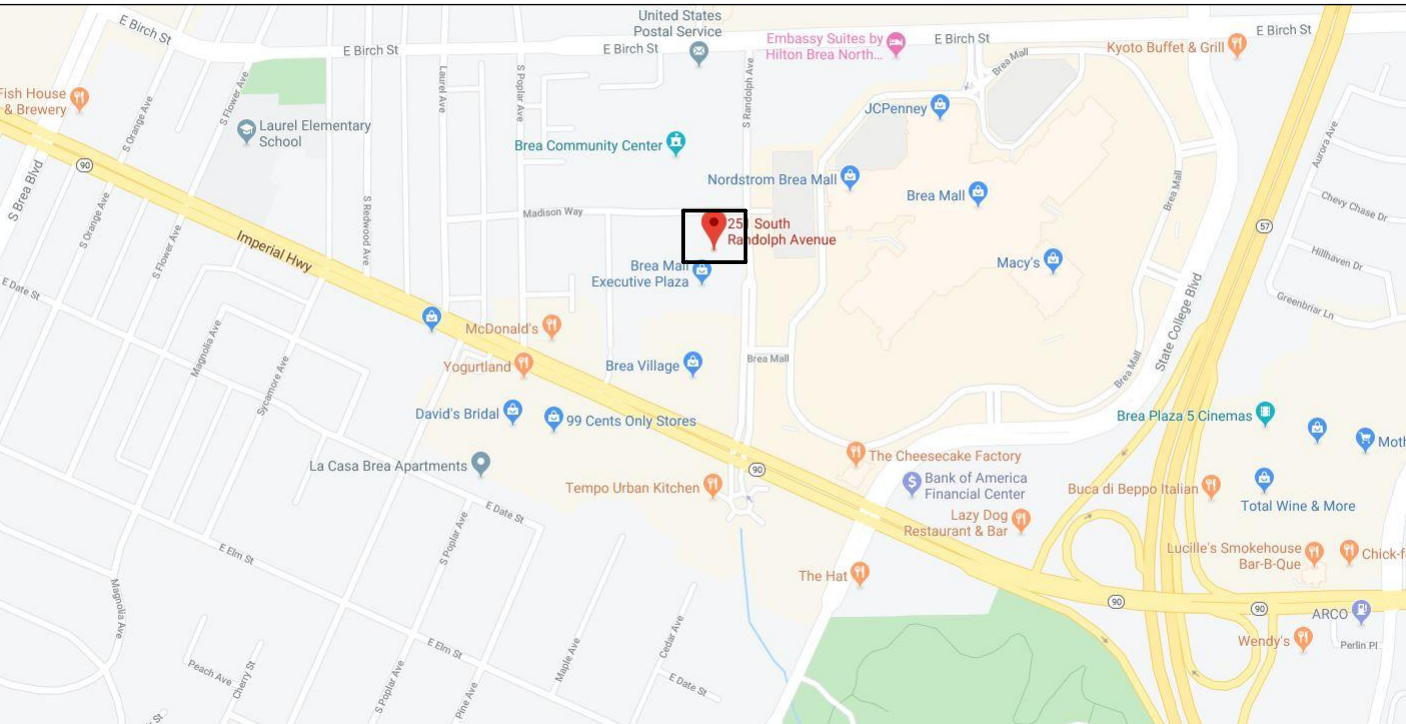


PROJECT DATA & INFORMATION

UNIT MIX						
Unit Name	Unit Type	Beds	Qty	Area (SF)	Total (SF)	
AL						
AL-1a	ASSISTED LIVING - 1 BED	1	12	476	5,712	
AL-Sa	ASSISTED LIVING - STUDIO	1	18	340	6,120	
AL-Sb	ASSISTED LIVING - STUDIO	1	4	356	1,424	
AL-Studio DLX A	ASSISTED LIVING - STUDIO	1	24	419	10,056	
		58	58	23,312 sq ft		
MC						
MC-1a	MEMORY CARE - STUDIO A-1 BED	1	2	275	550	
MC-1b	MEMORY CARE - STUDIO A-1 BED	1	12	255	3,060	
MC-1c	MEMORY CARE - STUDIO A-1 BED	1	6	272	1,632	
MC-2a	MEMORY CARE - 2 BED	2	1	465	465	
MC-2b	MEMORY CARE - 2 BED	2	1	490	490	
		24	22	6,197 sq ft		
		82	80	29,509 sq ft		

Parking Count		FAR : Gross Area Calcs		Area (SF)	
	Qty				
C	7	AL LEVEL 1		19,900	
EV	5	AL/MC LEVEL 2		26,920	
HC	3			46,820 sq ft	
P	28	MECHANICAL ROOMS (NOT INCLUDED IN F.A.R.)			
	43			Area (SF)	
		BOILERS		174	
		ELECTRICAL		142	
		ELEV		89	
		ELEV		99	
		ELEV EQUIP		132	
		ELEV EQUIP		177	
		FIRE RISER		48	
		IDF		22	
				883 sq ft	
GROSS BUILDING AREA:		46,820 s.f.			
MECHANICAL ROOMS:		- 883 s.f.			
NET BUILDING AREA (FAR):		45,937 s.f.			

VICINITY MAP



DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS:

SUBJECT TO REVIEW AND APPROVAL OF FIRE AUTHORITY:
FIRE SPRINKLERS NFPA 13 REQUIREMENTS
FIRE ALARM
COMMERCIAL TYPE I HOOD

SUBJECT TO REVIEW AND APPROVAL OF LOCAL BUILDING DEPT:
ROOF TRUSSES

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE BUILDING OFFICIAL PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS.

PROJECT TEAM

OWNER
Brandywine Homes
16580 Aston
Irvine, CA 92606
T: 949.336.2298
Angela Meyer, VP of Development

CIVIL ENGINEER
C & V Consulting, Inc.
6 Orchard, Suite 200
Lake Forest, CA 92630
T: 949.916.3800
www.CVC-INC.net
Joy M. Hendricks, Project Manager

ARCHITECT
Irwin Partners Architects
245 Fischer Avenue, Suite B2
Costa Mesa, CA 92626
T: 714 557 2448
F: 714 556 1572
www.ipaoc.com
Greg Irwin

LANDSCAPE ARCHITECT
Savage Land Design
2651 E. Chapman Ave, Suite 110
Fullerton, CA 92831
T: 714.878.0335
www.savagelandesign.com
Michael Savage, President

CODE REQUIREMENTS

APPLICABLE CODES

ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES LISTED BELOW.

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
CITY OF BREA CODES AND ORDINANCES

ACCESSIBILITY REQUIREMENTS PER THE FEDERAL ADA, ANSI 117.1-2003 AND 2016 CBC OR AS AMENDED BY STATE OR LOCAL REGULATIONS, WHICHEVER IS MORE RESTRICTIVE.

ASSESSORS PARCEL NUMBER:
319-321-01

SCOPE OF WORK:
PROPOSED 2-STORY MEMORY CARE & ASSISTED LIVING FACILITY CONTAINING 24 MC BEDS AND 61 AL BEDS.

HOURS OF OPERATION

Hours of operations are 24 hours a day/7 days per week, but primary business hours when the bulk of outside visitors and vendors would access the building would be 7 AM to 7 PM. Employee count expected is 50 full time employees, and expect the maximum number of employees on any shift to be in the 25 range (day), 20 (evening), and 5 (night). Many of the employees would carpool or take public transportation. Full time residents would be a maximum of 82 according to the bed count.

CITY OF BREA CONDITIONAL USE PERMIT

PLAN REVIEW NO. 19-16

TITLE INFORMATION:

THE FOLLOWING TITLE INFORMATION WAS DERIVED FROM A PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY, ORDER NO.: OSA-5714510 (TC) DATED OCTOBER 3, 2019 AT 7:30 A.M.

DENOTES PLOTTED ITEM.

1-2 TAX ITEMS

3 AN EASEMENT FOR A RIGHT OF WAY FOR PIPE LINE FOR TRANSMISSION OF WASTE WATER AND INCIDENTAL PURPOSES, RECORDED MAY 2, 1928 IN BOOK 152, PAGE 469 AND IN BOOK 153, PAGE 349, BOTH OF OFFICIAL RECORDS.
(EASEMENT WIDTH IS UNDEFINED)

4 THE RIGHTS, IF ANY, OF A CITY, PUBLIC UTILITY OR SPECIAL DISTRICT, PURSUANT TO SECTION 8345 ET SEQ. OF THE CALIFORNIA STREETS AND HIGHWAYS CODE, TO PRESERVE A PUBLIC EASEMENT IN RANDOLPH AVENUE AS THE SAME WAS VACATED BY THE DOCUMENT RECORDED OCTOBER 12, 1988 AS INSTRUMENT NO. 88-521076 OF OFFICIAL RECORDS.

5 INTENTIONALLY DELETED

6 THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE BREA REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED DECEMBER 30, 1983 AS INSTRUMENT NO. 83-592126 OF OFFICIAL RECORDS.

DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 30, 1983 AS INSTRUMENT NO. 83-592127 OF OFFICIAL RECORDS.

7 AN EASEMENT FOR STREET, SEWER, STORM DRAIN, PUBLIC UTILITIES, CABLE TELEVISION AND INCIDENTAL PURPOSES, RECORDED OCTOBER 19, 1988 AS INSTRUMENT NO. 88-534760 OF OFFICIAL RECORDS.

8 INTENTIONALLY DELETED

9 AN EASEMENT FOR EITHER OR BOTH UNDERGROUND LINES, CONDUITS, INCLUDING ABOVE-GROUND APPURTENANT FIXTURES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 8, 1988 AS INSTRUMENT NO. 88-574951 OF OFFICIAL RECORDS.

9a COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED OCTOBER 6, 1988 AS 88- 511512 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, GENETIC INFORMATION, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE § 12955(P)) OR ANCESTRY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATION 42 U.S.C. § 3604(C) OR CALIFORNIA GOVERNMENT CODE § 12955. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.

DOCUMENT RE-RECORDED MARCH 8, 1989 AS INSTRUMENT NO. 89-121315 OF OFFICIAL RECORDS. AFFECTS: PARCEL 2

10 A MORTGAGE TO SECURE AN ORIGINAL PRINCIPAL INDEBTEDNESS OF \$1,265,000.00, AND ANY OTHER AMOUNTS OR OBLIGATIONS SECURED THEREBY, RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594861 OF OFFICIAL RECORDS.

DATED: SEPTEMBER 1, 1993

MORTGAGOR: GOLDEN GATE BAPTIST THEOLOGICAL SEMINARY, MILL VALLEY, CALIFORNIA, A NON-PROFIT CORPORATION

MORTGAGEE: M&I FIRST NATIONAL BANK, WEST BEND, WISCONSIN, A NATIONAL BANKING ASSOCIATION AND R. T.

STEPHENSON, WEST BEND, WISCONSIN

AFFECTS: THE LAND AND OTHER PROPERTY.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594863 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594864 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594865 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594866 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594867 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594868 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594869 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUBORDINATION AGREEMENT" RECORDED SEPTEMBER 2, 1993 AS INSTRUMENT NO. 93-0594870 OF OFFICIAL RECORDS.

11 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED MEMORANDUM OF SALE AGREEMENT RECORDED AUGUST 22, 2019 AS INSTRUMENT NO. 2019000312586 OF OFFICIAL RECORDS.

12 RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET, ALLEY OR HIGHWAY.

13 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

14 RIGHTS OF PARTIES IN POSSESSION.

PRIOR TO THE ISSUANCE OF ANY POLICY OF TITLE INSURANCE, THE COMPANY WILL REQUIRE:

- WITH RESPECT TO GATEWAY SEMINARY OF THE SOUTHERN BAPTIST CONVENTION, A CALIFORNIA NON-PROFIT CORPORATION, A CALIFORNIA NONPROFIT CORPORATION:
 - A CERTIFICATE OF GOOD STANDING OF RECENT DATE ISSUED BY THE SECRETARY OF STATE OF THE CORPORATION'S STATE OF DOMICILE.
 - A CERTIFIED COPY OF A RESOLUTION OF THE BOARD OF DIRECTORS AUTHORIZING THE CONTEMPLATED TRANSACTION AND DESIGNATING WHICH CORPORATE OFFICERS SHALL HAVE THE POWER TO EXECUTE ON BEHALF OF THE CORPORATION.
 - OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE.

PROPOSED EASEMENTS:

- EMERGENCY ACCESS EASEMENT

PREPARED BY:

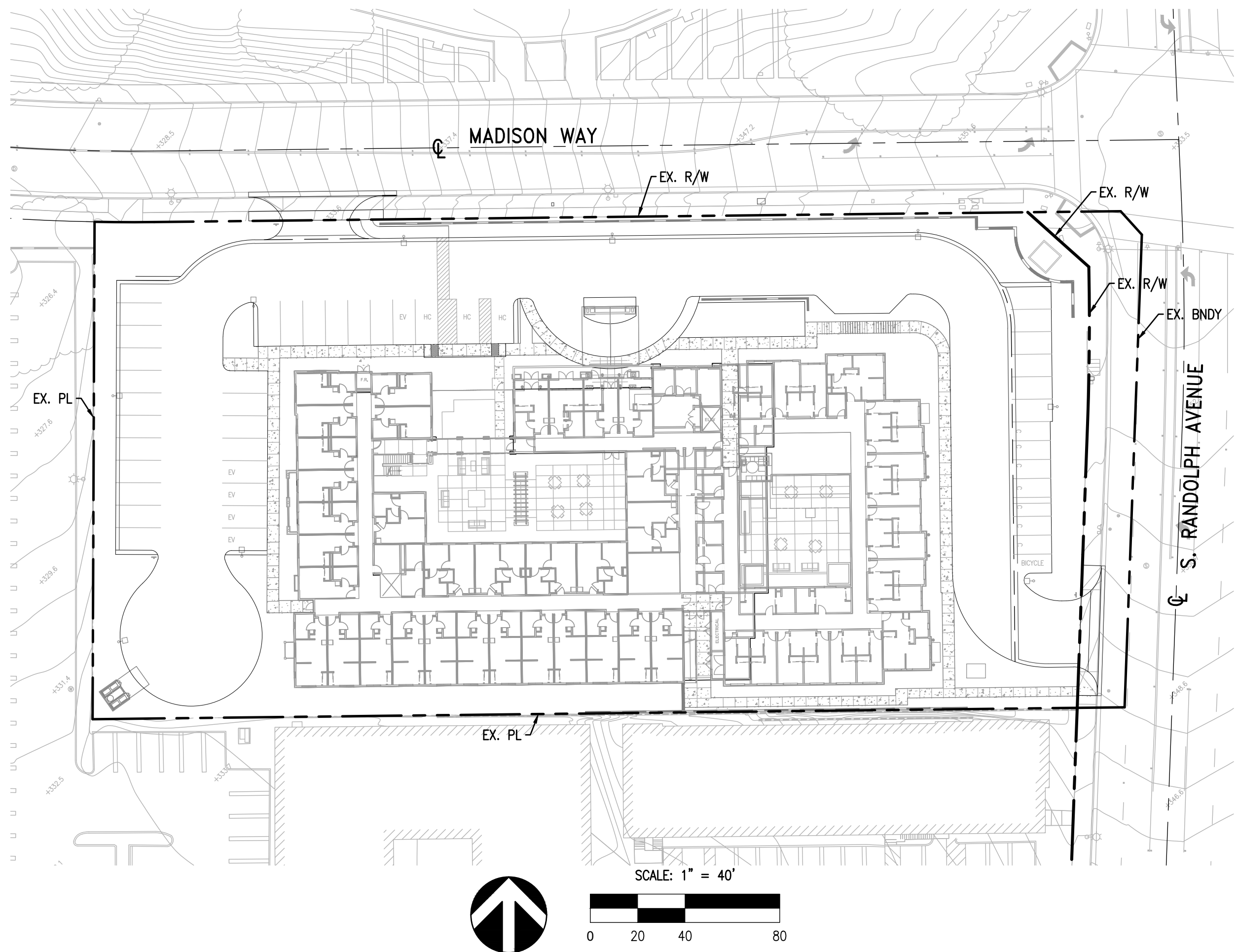


6 ORCHARD, SUITE 200
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T. 949.916.3800
F. 949.916.3805

CONSULTING, INC.
CIVIL ENGINEERING
LAND PLANNING & SURVEYING

CVC-INC.NET



DEVELOPER:

BRANDYWINE HOMES
16580 ASTON
IRVINE, CA 92606
PHONE: (949) 296-2400
CONTACT: ANGELA MEYER

CIVIL ENGINEER:

C&V CONSULTING, INC.
6 ORCHARD, SUITE 200
LAKE FOREST, CA 92630
PHONE: (949) 916-3800
CONTACT: DANE MCDUGALL, P.E.

ARCHITECT:

IRWIN PARTNERS ARCHITECTS
245 FISCHER AVENUE, SUITE B-2
COSTA MESA, CA 92626
PHONE: (714) 557-2448
CONTACT: GREG IRWIN

SOILS ENGINEER:

ALTA CALIFORNIA GEOTECHNICAL, INC.
170 N. MAPLE STREET, SUITE 108
CORONA, CA 92880
PHONE: (951) 509-7090
CONTACT: FERNANDO RUIZ

AREA SUMMARY:

GROSS LAND AREA: 2.114 AC
NET LAND AREA: 1.917 AC

ZONING INFORMATION

EXISTING/PROPOSED GENERAL PLAN
LAND USE: OFFICE/FINANCIAL

EXISTING/PROPOSED ZONING:
ADMINISTRATIVE & PROFESSIONAL OFFICE
(C-P) WITH PLANNED DEVELOPED (PD)
OVERLAY

PROPOSED MINIMUM SETBACKS: 8'

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
BN DY	BOUNDARY
C	COMPACT STALL
CB	CATCH BASIN
CL	CENTERLINE
CO	CLEANOUT
DW	DOMESTIC WATER
DWY	DRIVEWAY
EA	EACH
ELEC	ELECTRICAL
ESMT	EASEMENT
EV	ELECTRIC VEHICLE
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
FW	FIRE WATER
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT
JS	JUNCTION STRUCTURE
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
MWS	MODULAR WETLANDS SYSTEM
N.A.P	NOT A PART
NO.	NUMBER
NTS	NOT TO SCALE
PB	PULLBOX
PCC	PORTLAND CEMENT CONCRETE
PDSTL	PEDESTAL
PIV	POST INDICATOR VALVE
PKWY	PARKWAY
PL	PROPERTY LINE
PROP.	PROPOSED
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
SF	SQUARE FEET
SS	SANITARY SEWER
STA	STATION
STD.	STANDARD
STLT	STREET LIGHT
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRADE
TW	TOP OF WALL
TYP.	TYPICAL
WM	WATER METER

LEGEND:

---	CENTERLINE
---	EX. TRACT BOUNDARY/ RIGHT-OF-WAY LINE
---	PROP. TRACT BOUNDARY / RIGHT-OF-WAY LINE
---	EX. LOT LINE
---	PROP. LOT LINE
---	EASEMENT LINE
---	EX. WATER LINE
---	PROP. WATER LINE
---	FIRE HYDRANT
---	EX. SEWER LINE
---	PROP. SEWER LINE
---	PROP. WALL
---	EX. WALL
---	FLOW LINE
---	SLOPE
---	GRADE BREAK
---	ADA PATH OF TRAVEL
---	SEWER FLOW DIRECTION (EXISTING)
---	SEWER FLOW DIRECTION (PROPOSED)

SHEET INDEX:

- TITLE SHEET
- SITE UTILIZATION MAP
- PRELIMINARY GRADING PLAN
- PRELIMINARY UTILITY PLAN
- PRELIMINARY FIRE ACCESS &
HYDRANT LOCATION PLAN

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: (APN: A PORTION OF 319-321-01)

LOT 14 OF TRACT NO. 258, AS SHOWN ON A MAP RECORDED IN BOOK 18, PAGE 7 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

PARCEL 2: (APN: 319-223-03 AND A PORTION OF APN: 319-321-01)

PARCEL 1 OF LOT LINE ADJUSTMENT NO. LL 34-88 RECORDED NOVEMBER 3, 1988 AS INSTRUMENT 88-566621 OF OFFICIAL RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 13 OF TRACT NO. 258 AS SHOWN ON A MAP RECORDED IN BOOK 18, PAGE 7 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, ALONG WITH THAT PORTION OF LOT 12 OF SAID TRACT NO. 258 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 12; THENCE ALONG THE WESTERLY LINE OF SAID LOT NORTH 11° 30' EAST 10.41 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHERLY HAVING A RADIUS OF 630.00 FEET, A RADIAL THROUGH SAID POINT BEARS NORTH 0 DEGREE 11' 22" EAST; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 1 DEGREE 45' 52" AN ARC DISTANCE OF 25.58 FEET TO A TANGENT LINE, PARALLEL WITH AND 10.00 FEET NORTHERLY, MEASURED AT RIGHT ANGLES FROM THE SOUTHERLY LINE OF SAID LOT 12; THENCE ALONG SAID LINE NORTH 88 DEGREE 25' 30" EAST 407.83 FEET TO THE NORTHEASTERLY LINE OF SAID LOT 12; THENCE SOUTH 43 DEGREE 04' 44" EAST 13.35 FEET TO THE SOUTHEAST CORNER OF SAID LOT 12; THENCE SOUTH 88 DEGREE 25' 30" WEST 442.74 FEET ALONG THE SOUTHERLY LINE OF SAID LOT 12 TO THE POINT OF BEGINNING.

VESTED OWNER:

GATEWAY SEMINARY OF THE SOUTHERN BAPTIST CONVENTION, A CALIFORNIA NONPROFIT CORPORATION

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN ORANGE COUNTY SURVEYOR'S HORIZONTAL CONTROL STATION GPS NO. 3853 AND GPS NO. 3852 BEING NORTH 89°19'36" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATUM STATEMENT:

COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, 1983 N.A.D. (2017.50 EPOCH OCS GPS ADJUSTMENT). ALL DISTANCES SHOWN ARE GROUND UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE, MULTIPLY GROUND DISTANCE BY 0.999993925, (MEAN VALUE).

BENCHMARK STATEMENT:

ORANGE COUNTY BENCHMARK NO. 2B-41-70
ELEV: 338.069' (NAVD88 LEVELED 2006)

DESCRIBED AS: "FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2B-41-70", SET IN THE NORTHEASTERLY CORNER OF A 3 FT. BY 4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHERLY PORTION OF THE INTERSECTION OF PINE STREET AND IMPERIAL HIGHWAY, 34 FT. SOUTHERLY OF THE CENTERLINE OF IMPERIAL HIGHWAY, 4.2 FT. WESTERLY OF THE CENTERLINE OF PINE STREET PROLONGED FROM THE NORTH AND 4.6 FT. NORTHWESTERLY OF POWER POLE (#1699922E). MONUMENT IS SET LEVEL WITH THE SIDEWALK."

FLOOD NOTE:

THE SUBJECT PROPERTY FALLS WITHIN "ZONE X -- AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

EFFECTIVE DECEMBER 3, 2009

TOPOGRAPHY NOTE:

TOPOGRAPHY AND CONTOURS SHOWN HEREON ARE BASED ON 1' CONTOUR INTERVALS FROM AERIAL PHOTOGRAMMETRY.

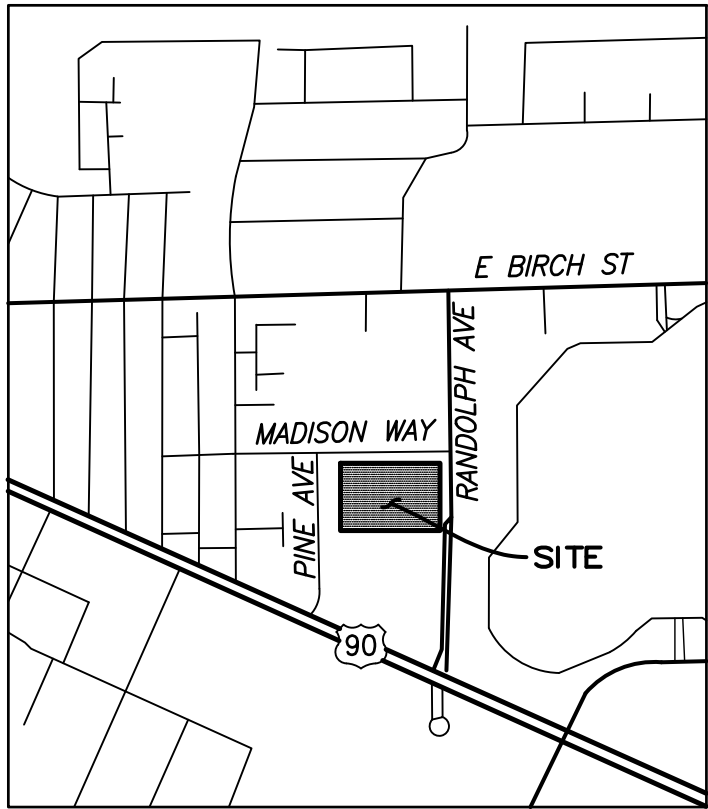
EARTHWORK QUANTITIES:

(FOR PLAN CHECK PURPOSES ONLY)

RAW CUT:	13,280 CY
RAW FILL:	85 CY
NET TOTAL (EXPORT):	13,195 CY (CUT)

EARTHWORK NOTES:

- ASSUMPTIONS PER ALTA CALIFORNIA GEOTECHNICAL, INC. PRELIMINARY GEOTECHNICAL INVESTIGATION, PROJECT NO. 1-0621, DATED AUGUST 24, 2018.
- EARTHWORK QUANTITIES HEREON DO NOT INCLUDE UTILITY TRENCHES, FOUNDATION FOOTING SPOILS OR RETAINING WALL SPOILS.
- ASSUMES NEGLIGIBLE EXPANSION, BULKING AND SUBSIDENCE PER GEOTECHNICAL REPORT.
- DOES NOT INCLUDE REMOVALS DUE TO CLEARING AND GRUBBING, TOP SOILS OR DEMOLITION.
- OVEREXCAVATION NOT INCLUDED IN GEOTECHNICAL REPORT OR EARTHWORK QUANTITIES.

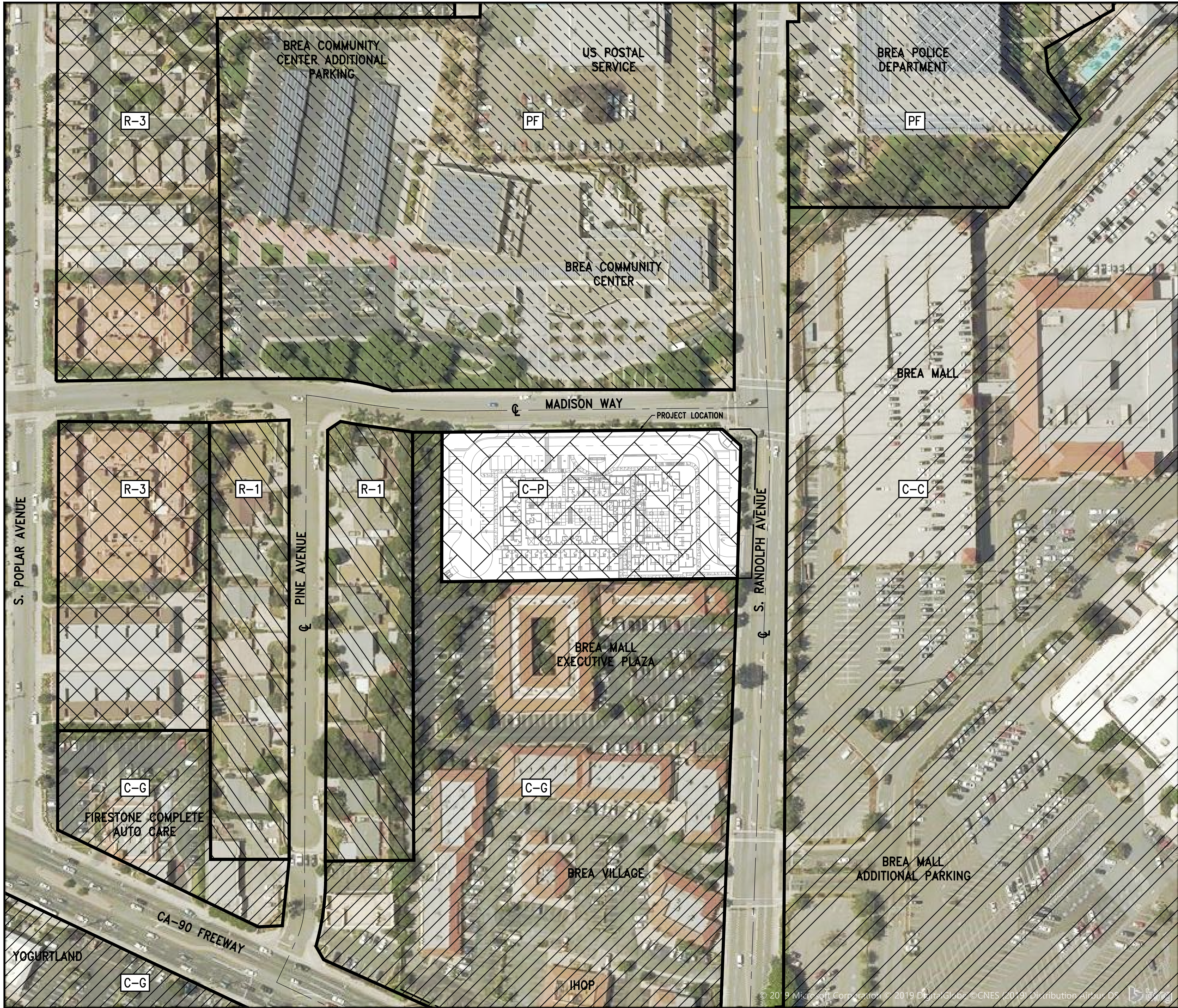


VICINITY MAP
N.T.S.

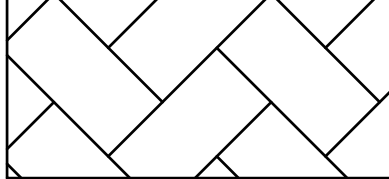
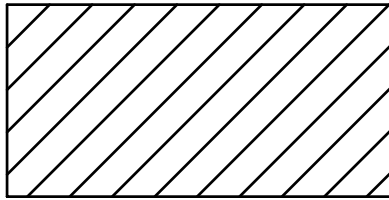
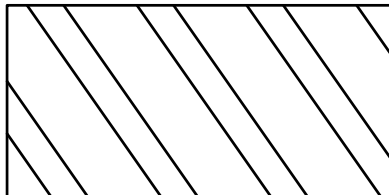
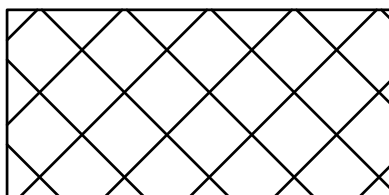
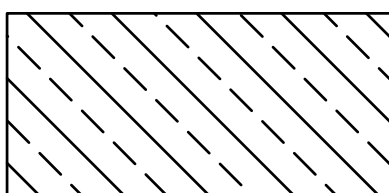
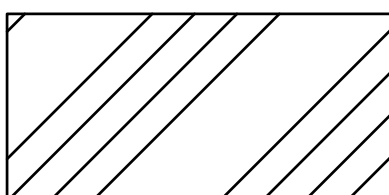
TITLE SHEET

ALVERO
251 S. RANDOLPH AVENUE
CITY OF BREA, CA.
Sheet 1 of 5

CITY OF BREA SITE UTILIZATION MAP



LEGEND

- | | |
|---|--|
|  | C-P ADMINISTRATIVE AND PROFESSIONAL OFFICE |
|  | C-G GENERAL COMMERCIAL |
|  | R-1 SINGLE-FAMILY RESIDENTIAL |
|  | R-3 MULTIPLE FAMILY |
|  | PF PUBLIC FACILITIES |
|  | C-C MAJOR SHOPPING CENTER |

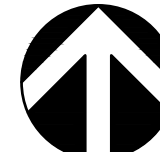
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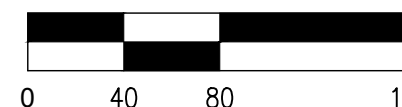
6 ORCHARD, SUITE 200
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SCALE: 1" = 8'



SITE UTILIZATION MAP

ALVERO
251 S. RANDOLPH AVENUE
CITY OF BREA, CA.

Sheet 2 of 5

[illegible]

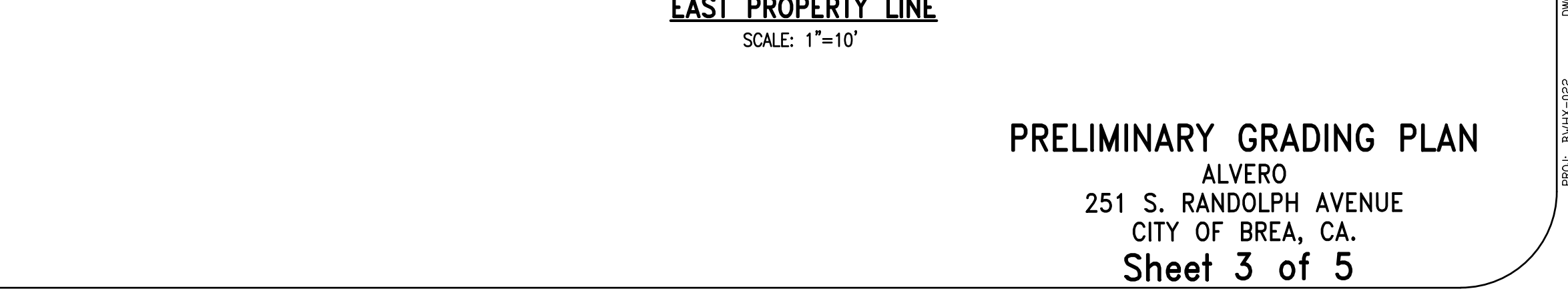
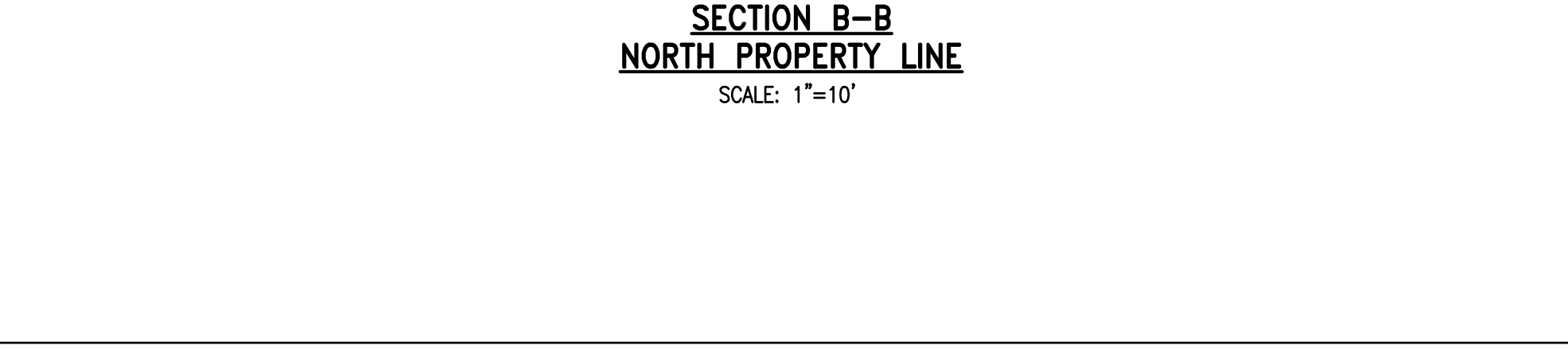
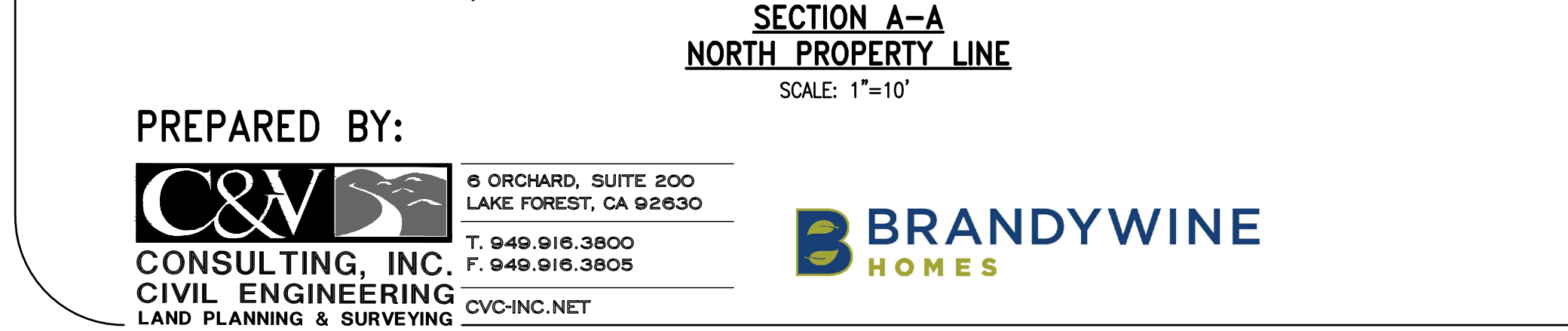
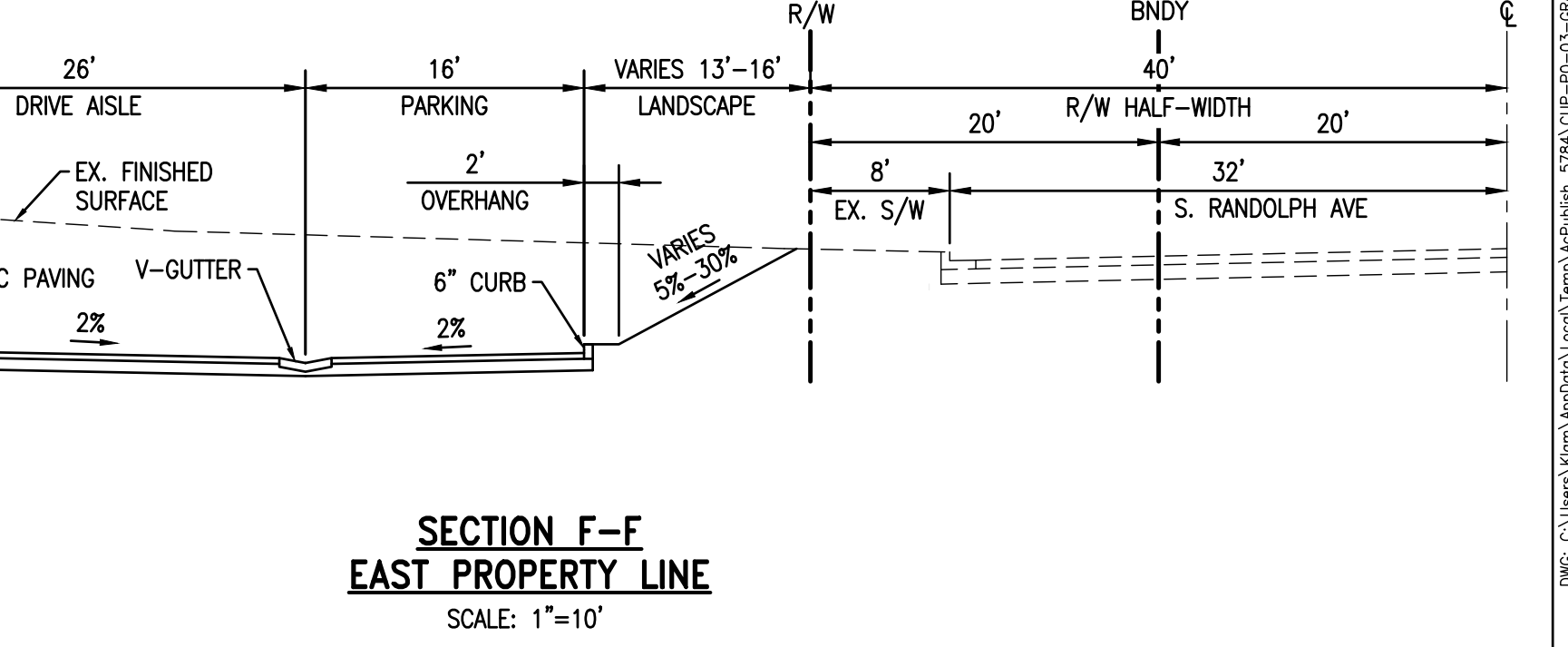
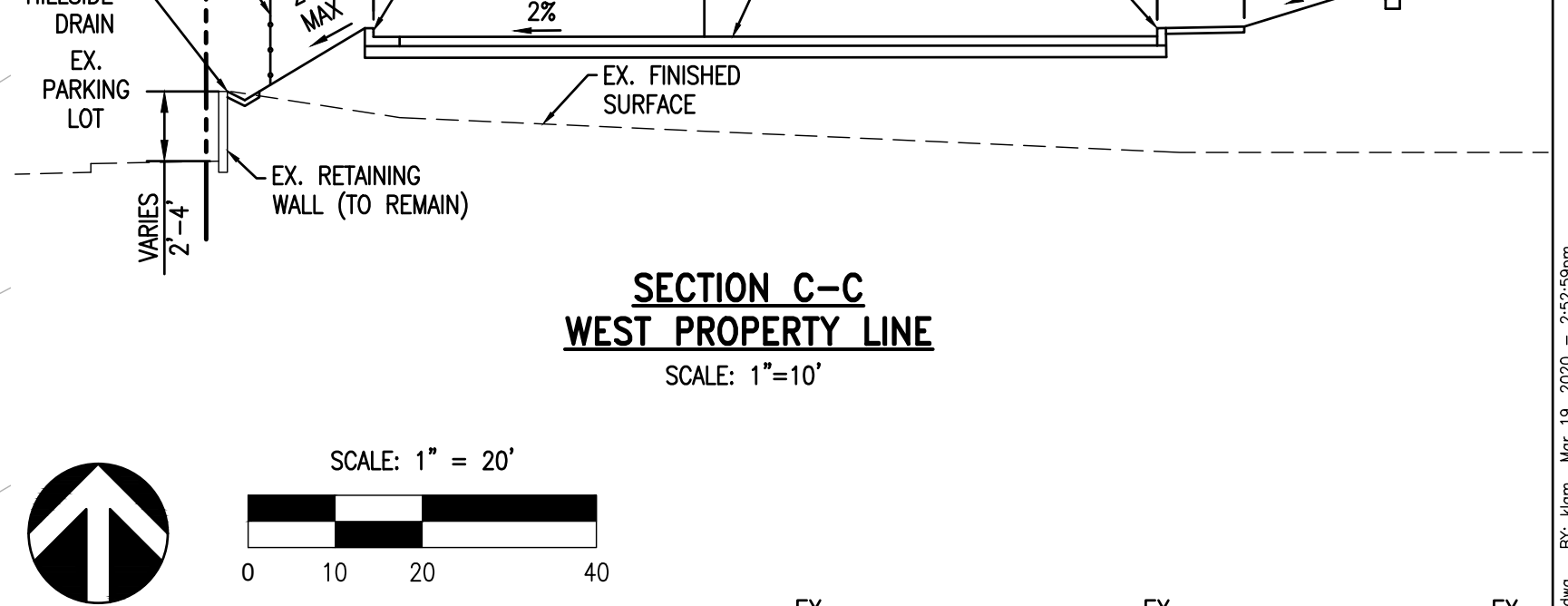
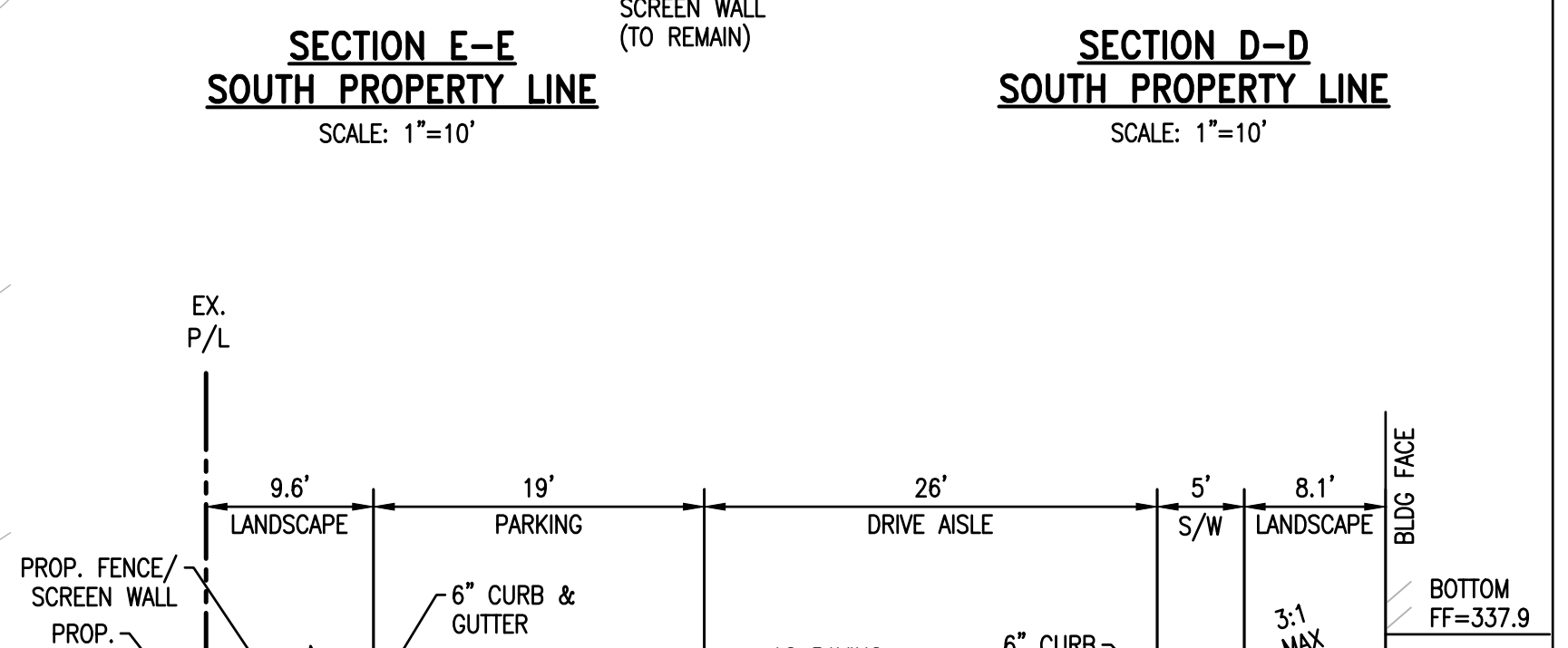
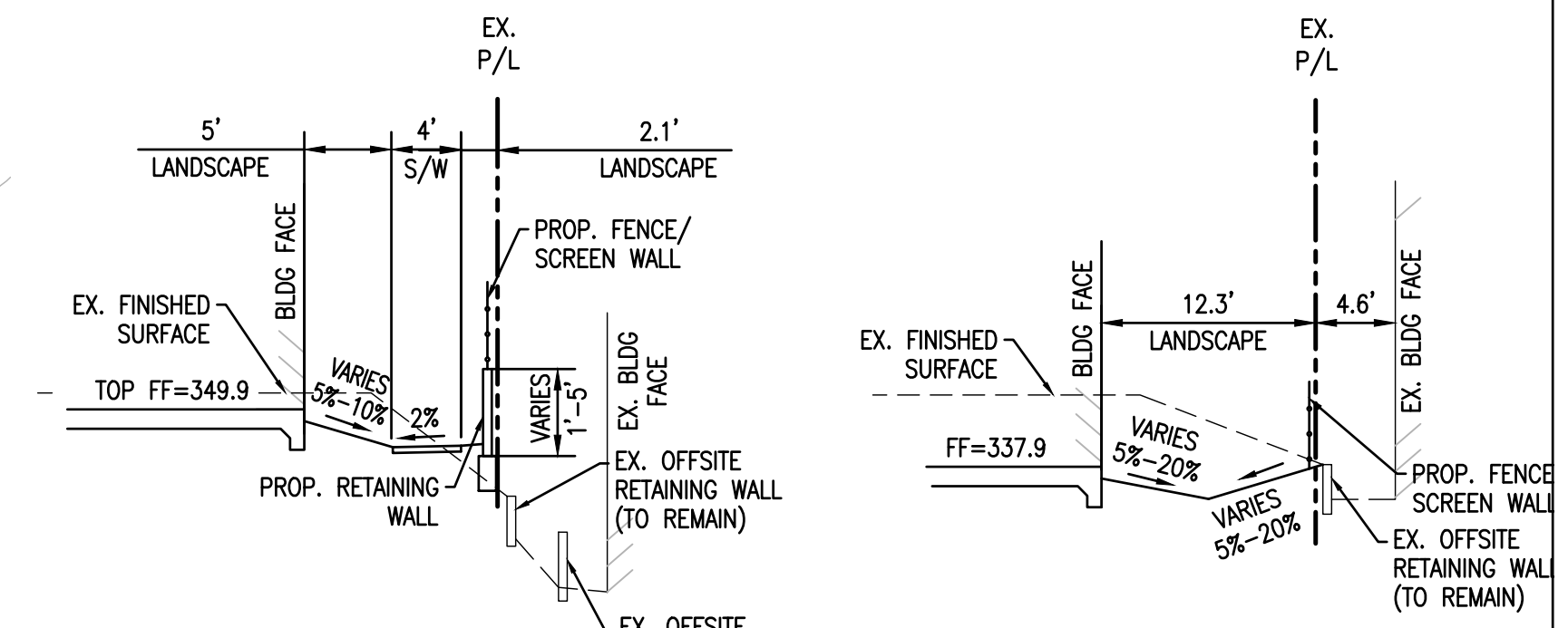
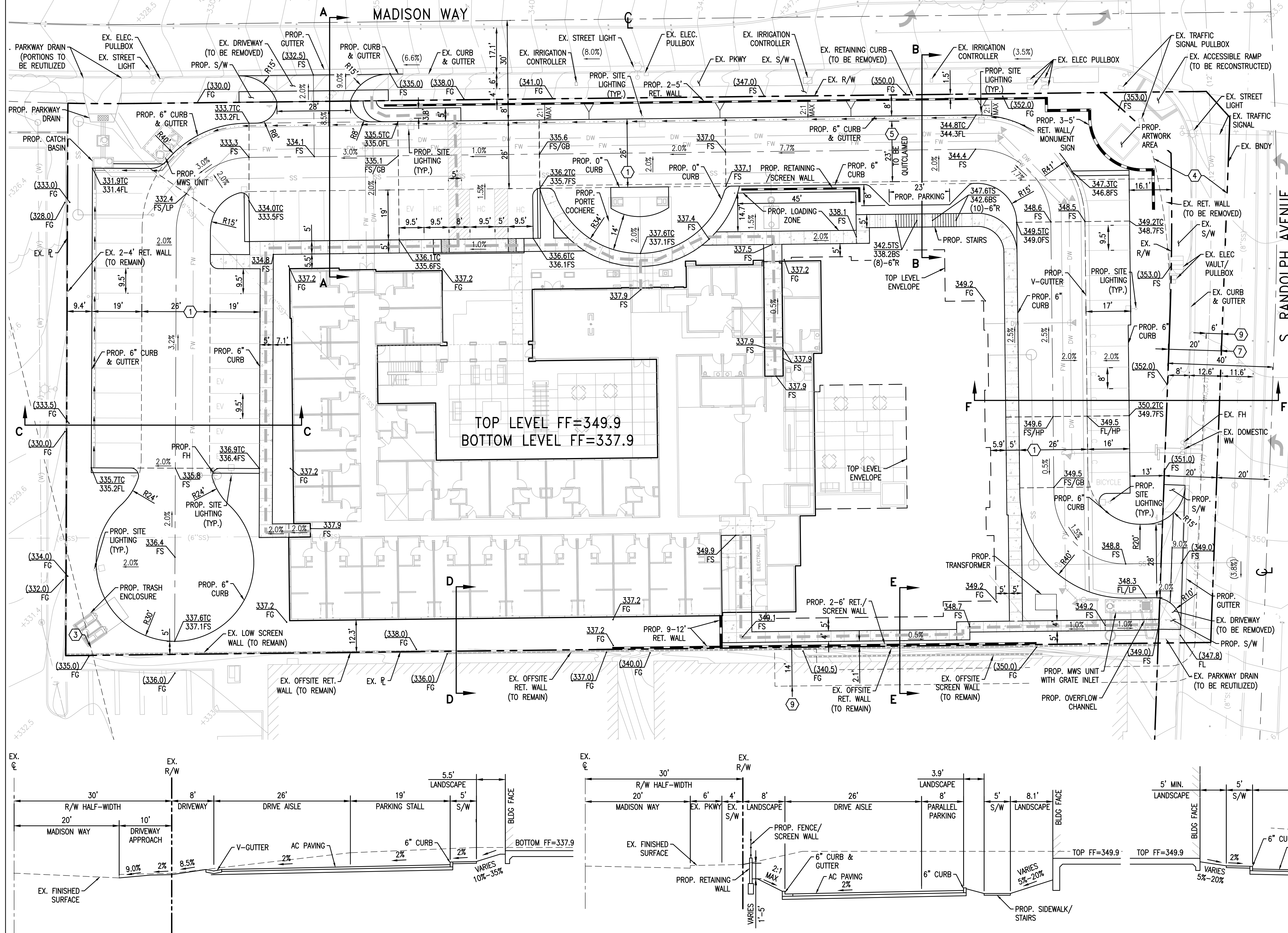
CITY OF BREA PRELIMINARY GRADING PLAN

PROPOSED EASEMENTS:

- 26' WIDE EMERGENCY VEHICLE ACCESS EASEMENT.

EXISTING EASEMENTS:

- AN EASEMENT FOR A RIGHT OF WAY FOR PIPE LINE FOR TRANSMISSION OF WASTE WATER AND INCIDENTAL PURPOSES, RECORDED MAY 2, 1928 IN BOOK 152, PAGE 469 AND IN BOOK 153, PAGE 349, BOTH OF OFFICIAL RECORDS. (EASEMENT WIDTH IS UNDEFINED)
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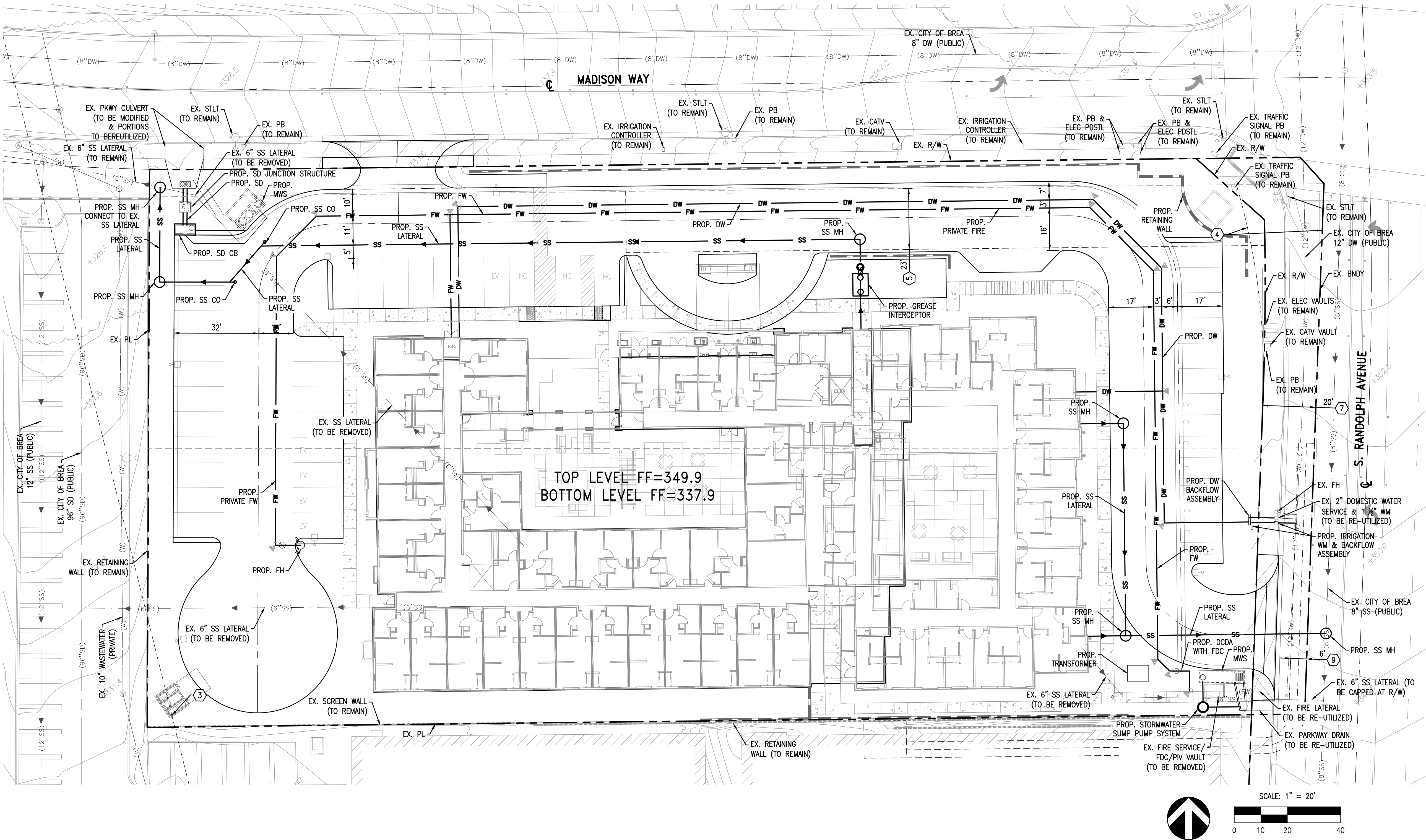
BRANDYWINE
HOMES

PRELIMINARY GRADING PLAN
ALVERO
251 S. RANDOLPH AVENUE
CITY OF BREA, CA.
Sheet 3 of 5

CITY OF BREA PRELIMINARY UTILITY PLAN

EXISTING EASMENTS:

- ③ AN EASEMENT FOR A RIGHT OF WAY FOR PIPE LINE FOR TRANSMISSION OF WASTE WATER AND INCIDENTAL PURPOSES, RECORDED MAY 2, 1928 IN BOOK 152, PAGE 469 AND IN BOOK 153, PAGE 349, BOTH OF OFFICIAL RECORDS. (EASEMENT WIDTH IS UNDEFINED)
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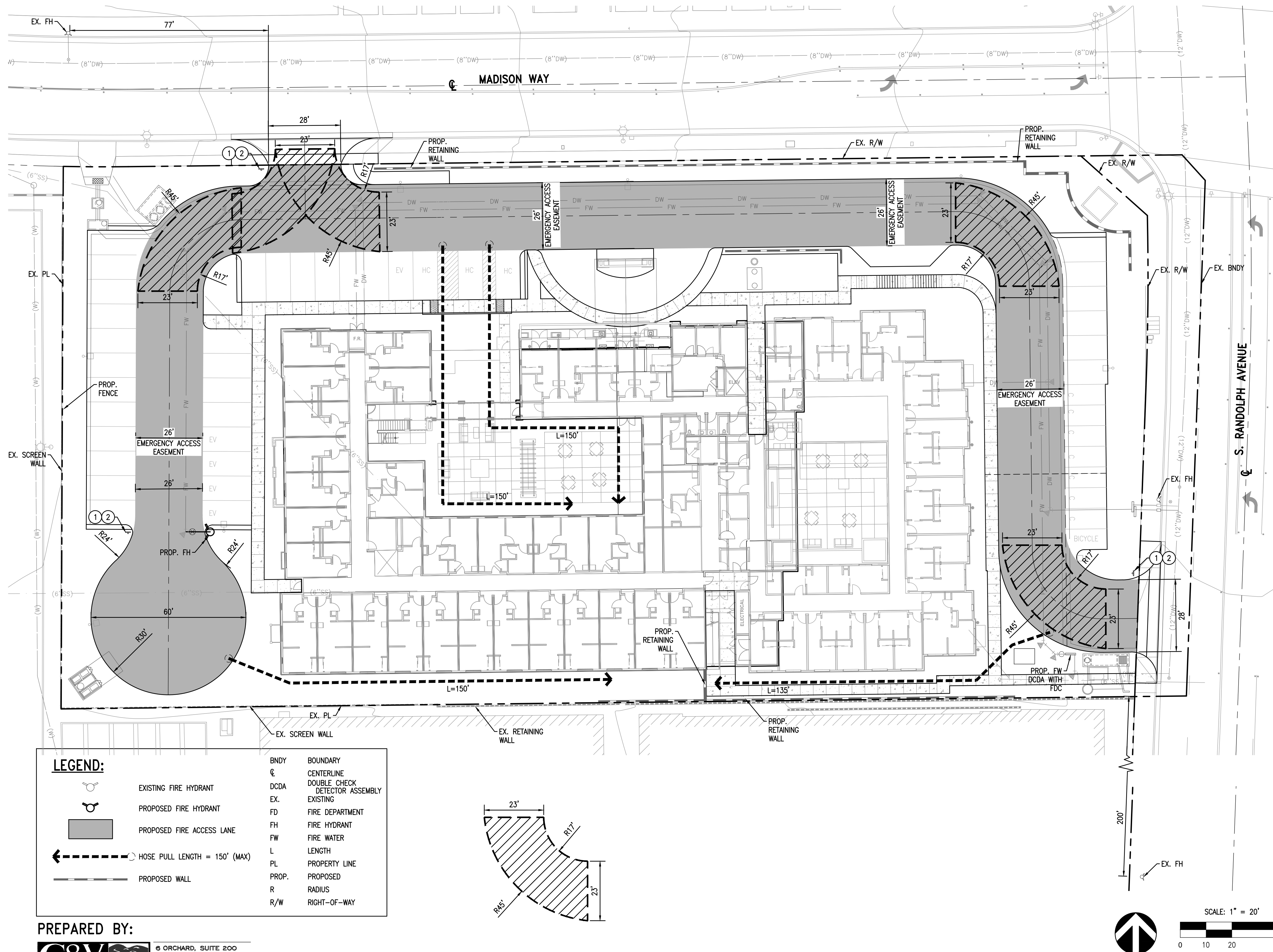
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PRELIMINARY UTILITY PLAN
ALVERO
251 S. RANDOLPH AVENUE
CITY OF BREA, CA.
Sheet 4 of 5

CITY OF BREA PRELIMINARY FIRE ACCESS & HYDRANT LOCATION PLAN



BREA FIRE DEPARTMENT NOTES

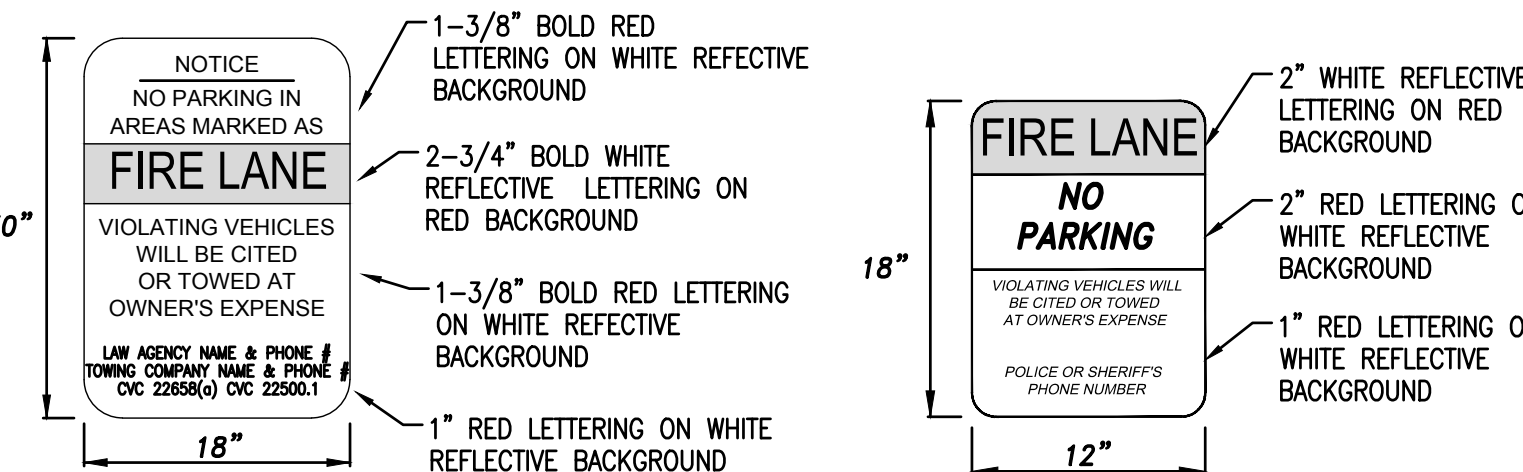
- Brea FD final inspection required. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a reinspection fee. Phasing of inspections may require additional fees, also. Call Brea FD for inspection scheduling at 714-990-7655.
- Buildings under construction or demolition shall conform to CFC Chapter 14. No smoking or cooking is allowed in structures where combustible materials are exposed or within 25' of combustible materials storage areas. Cutting, welding, or other hot work shall be in conformance with CFC Chapter 35.
- Address numbers shall be provided for all new and existing buildings, be a minimum of four inches high for individual dwelling units and six inches high for all other installations and structures, contrast with their background, and be plainly visible from the roadway the building is addressed on. Address numbers shall have a minimum of 3" stroke. Temporary address numbers shall be provided on construction fencing or the building until permanent numbers can be provided. CBC 501.2, CFC 505.1.
- Locations and classifications of extinguishers shall be in accordance with CFC 906 and CCR Title 19. At least one extinguisher shall be provided during construction on each floor at each stairway, in each storage and construction shed, in locations where flammable or combustible liquids are stored or used, or where similar hazards are present per CFC 3315.1. Before final occupancy, at least one 2A:10B:C extinguisher shall be provided so that no point is more than 75' travel distance from the extinguisher. Extinguishers shall be located along the path of egress travel and in a readily visible and accessible location, with the bottom of the extinguisher at least 4" above the floor. Additional extinguishers may be required by Brea FD inspectors depending on project or site conditions and final placement is subject to their approval.
- Wall, floor and ceiling finishes and materials shall not exceed the flame spread classifications in CBC Table 803.9. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the Brea FD. Such items shall be approved and inspected prior to installation.
- Knox boxes/key cabinets shall be provided for all high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and/or annunciators, and any other structures or areas where immediate access is required or is unduly difficult. A Brea FD inspector can assist with locking gate keys in Knox boxes, contact your local fire station to arrange an appointment to secure master building keys in the Knox box.
- Approval of these plans shall not permit the violation of any code or law. Requirements or features not identified on the plan may apply and Brea FD inspectors may require additional information or items from those shown on the plan depending on actual or anticipated field conditions. Such changes may necessitate submittal of revised or as-built plans to the Brea FD.
- The project shall comply with 2016 California Building Code, 2016 California Fire Code, and other currently adopted codes, standards, regulations and requirements as enforced by the Brea FD.
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3
- Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other objects.
- The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in aisles.
- Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort. Doors shall not be provided with thumb-turns or deadbolts that do not unlatch in tandem with the normal operating lever. The opening force for interior doors without closers shall not exceed 5 pounds. The unlatching and opening force for other doors, including fire doors, shall not exceed 15 pounds. CBC 1008
- The exit path shall be clearly identified with exit signs conforming to CBC 1011. Illuminated exit signs must have 90-minute emergency power back-up.
- Tactile signs shall be provided in commercial buildings, public buildings/accommodations, and publicly funded housing subject to CBC Chapters 11A and B and conform to 1143A or 118-703.1, -703.2, -703.3, and 703.5, be mounted with the bottom of the lowest line of Braille characters at least 4 feet above the floor but the bottom of the highest line of raised text characters no more than 5 feet above the floor and, whenever possible, on the strike side of the door. Lettering shall be between 3/8" and 2" high. CBC 1011.4
- The exit path shall be illuminated at all times in accordance with CBC 1006. Emergency lighting shall be provided with 90-minute back-up.
- Rated assemblies shall conform to approved methods and materials of construction. Penetrations through rated walls, ceilings, or floors shall be protected in an approved manner complying with CBC/CFC Chapter 7.
- Fire/Smoke rated doors shall be self-closing and latching; such doors shall not be equipped with door stops or otherwise propped open. Fire/smoke rated doors shall be equipped with rated hardware. CFC 703

SIGNING NOTES:

- INSTALL "FIRE LANE ENTRANCE" SIGN PER DETAIL HEREON.
- INSTALL "FIRE LANE - NO PARKING" SIGN PER DETAIL HEREON.

NOTES:

- BUILDING WILL BE CONSTRUCTION TYPE VA AND IS APPROXIMATELY 49,750 SQUARE FEET.
- BUILDING TO BE SPRINKLERED. SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13.



1 FIRE LANE ENTRANCE SIGN

ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE MATERIAL.

2 NO PARKING SIGN

ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE.

LEGEND:	
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE ACCESS LANE
	HOSE PULL LENGTH = 150' (MAX)
	PROPOSED WALL
BN DY	BOUNDARY
CL	CENTERLINE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
EX.	EXISTING
FD	FIRE DEPARTMENT
FH	FIRE HYDRANT
FW	FIRE WATER
L	LENGTH
PL	PROPERTY LINE
PROP.	PROPOSED
R	RADIUS
R/W	RIGHT-OF-WAY

PREPARED BY:

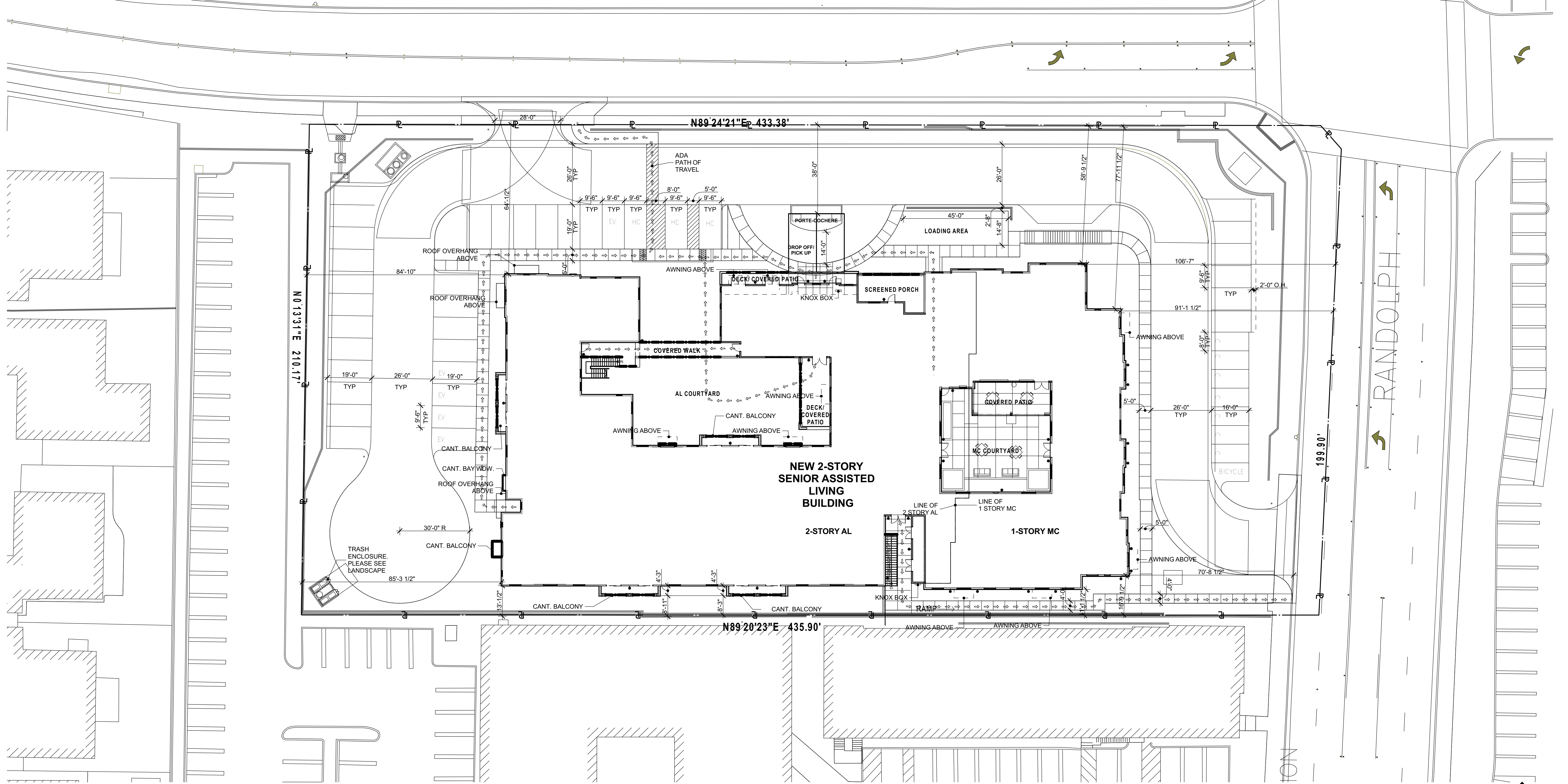
C&V
CONSULTING, INC.
CIVIL ENGINEERING
LAND PLANNING & SURVEYING
6 ORCHARD, SUITE 200
LAKE FOREST, CA 92630
T. 949.916.3800
F. 949.916.3805
CVC-INC.NET

BRANDYWINE
HOMES

FIRE LANE TURNING RADIUS

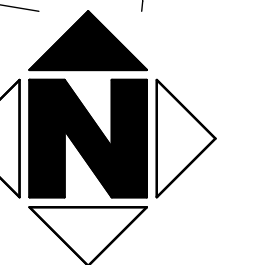
PRELIMINARY FIRE ACCESS &
HYDRANT LOCATION PLAN
ALVERO
251 S. RANDOLPH AVENUE
CITY OF BREA, CA.
Sheet 5 of 5

DWG: P:\18\BWH-222\04\Draw\Sheets\PRELIMINARY (CVP)\CVP-45-05-Fixing.dwg
PLOT: BWH-452
DATE: Mar 19, 2020 2:53:26pm
BY: kcm



SITE PLAN LEVEL 2

SCALE: 1" = 20'



Parking Count	
Qty	
C	7
EV	5
HC	3
P	28
	43

Net Building Area Calculations

Area Type	Qty.	Area (SF)
Common Area		
ADMINISTRATION	9	1,145
CIRCULATION	3	6,906
CIRCULATION - VERTICAL	1	89
COMM KITCHEN	4	1,213
CTRY KITCHEN	1	170
DINING	5	2,478
LOBBY	2	188
MECHANICAL	8	883
RESIDENT ACTIVITY	3	1,173
RESTROOMS	3	199
SERVICE	11	1,383
	50	15,827 sq ft

Gross Area Calcs

AL LEVEL 1
AL/MC LEVEL 2

Area (SF)
19,900
26,920
46,820 sq
ft

MECHANICAL ROOMS (NOT INCLUDED IN F.A.R.)

Area (SF)	
BOILERS	174
ELECTRICAL	142
ELEV	89
ELEV	99
ELEV EQUIP	132
ELEV EQUIP	177
FIRE RISER	48
IDF	22
	883 sq ft

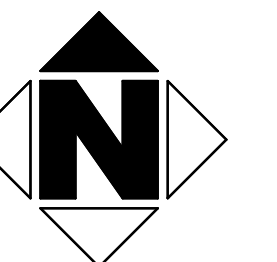
FAR:

GROSS BUILDING AREA: 46,820 s.f.
MECHANICAL ROOMS: 883 s.f.
NET BUILDING AREA (FAR): 45,937 s.f.

GROSS SITE AREA: 92,086 SF
FLOOR AREA RATIO (50% ALLOWED): 92,086 SF x .50
46,043 SF ALLOWED
45,937 SF PROPOSED



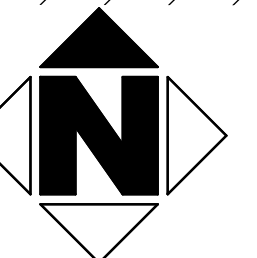
AL LEVEL 1
SCALE: 3/32" = 1'-0"

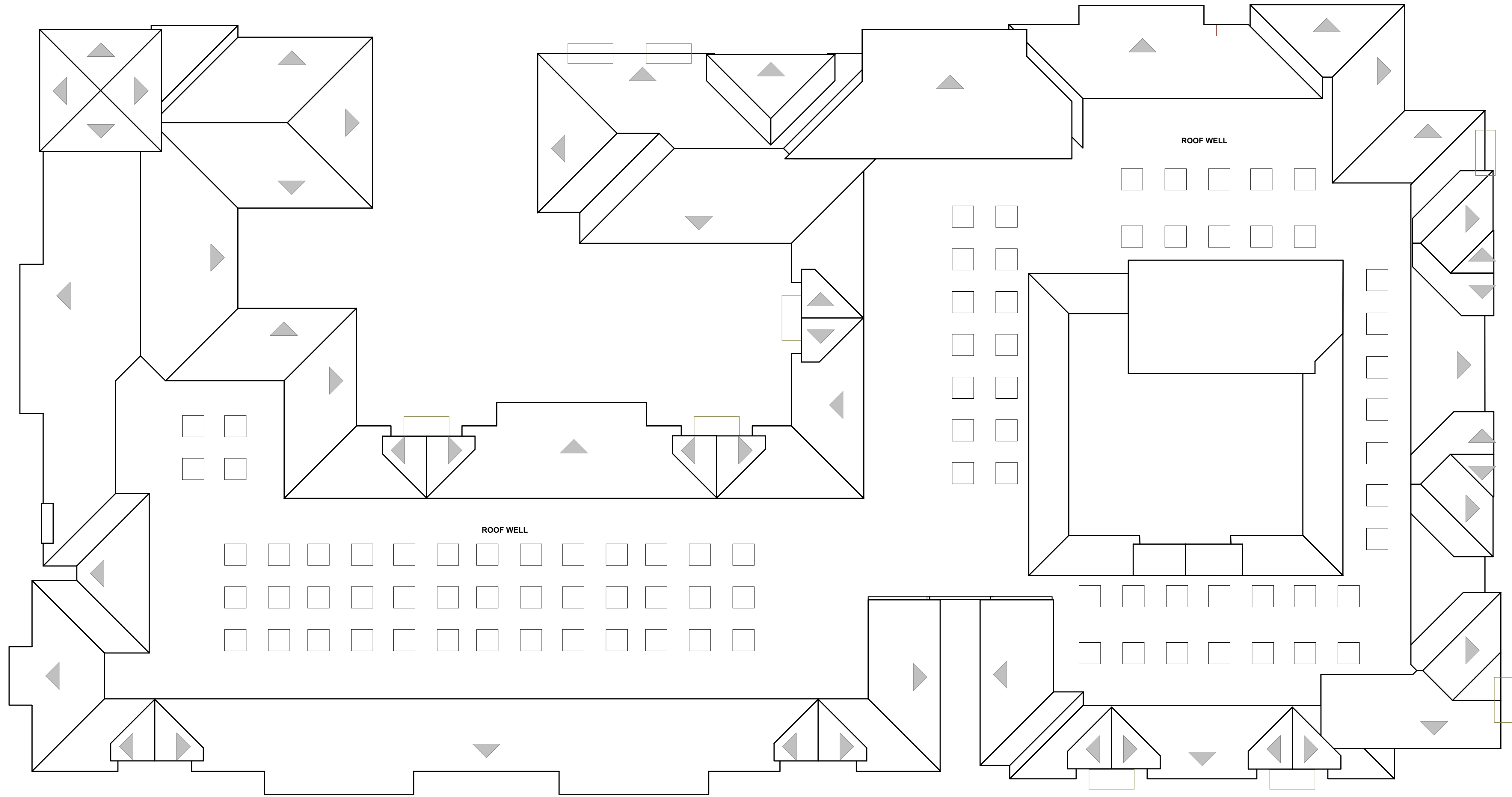


N0°13'31"E 210.17'

N89°20'23"E 435.90'

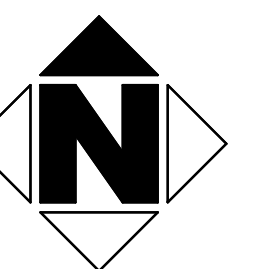
AL/MC LEVEL 2
SCALE: 3/32" = 1'-0"





01 ROOF PLAN
SCALE: 3/32" = 1'-0"

NOTE:
MECHANICAL EQUIPMENT TO BE PLACED
IN ROOF WELL AND SCREENED BY ROOF
AND PARAPETS. PRELIMINARY DESIGN
FOR CONCEPTUAL PURPOSES; SUBJECT
TO CHANGE THROUGH DEVELOPMENT.

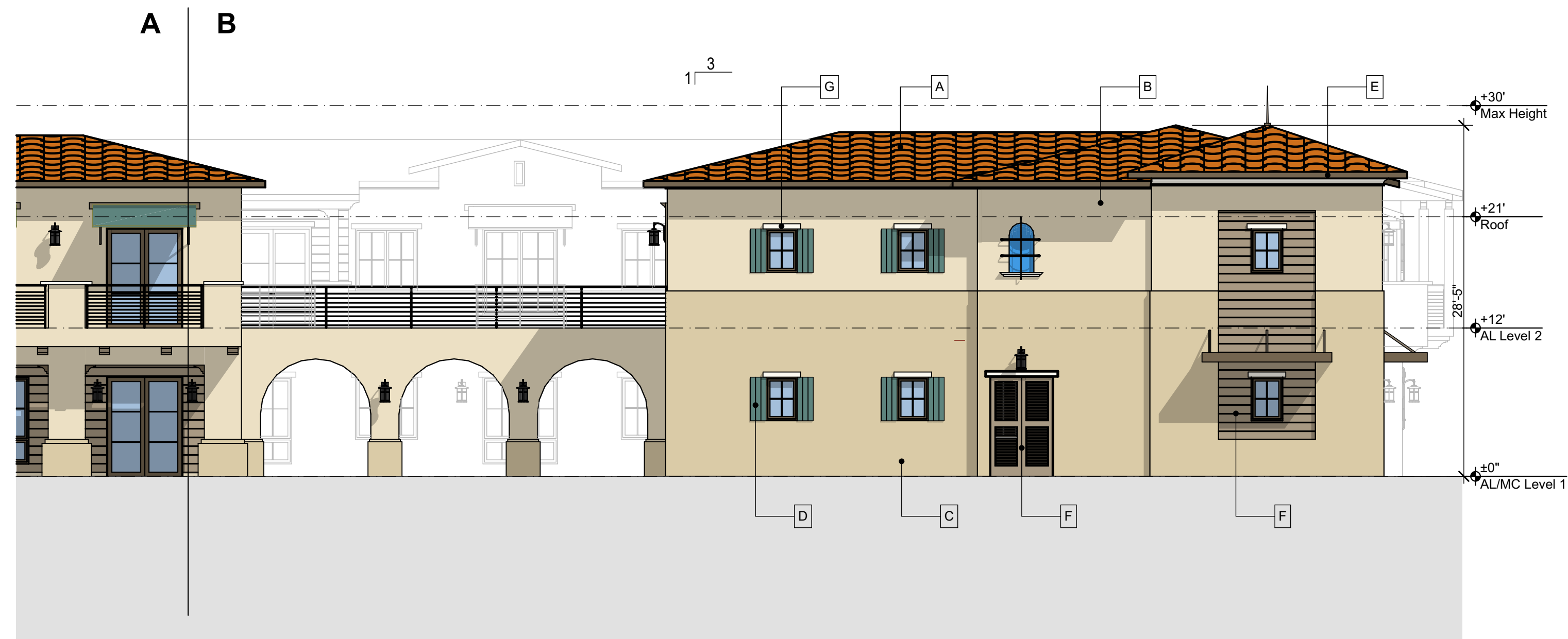




03 MADISON WAY OVERALL ELEVATION (NORTH)
SCALE: 1/16" = 1'-0"

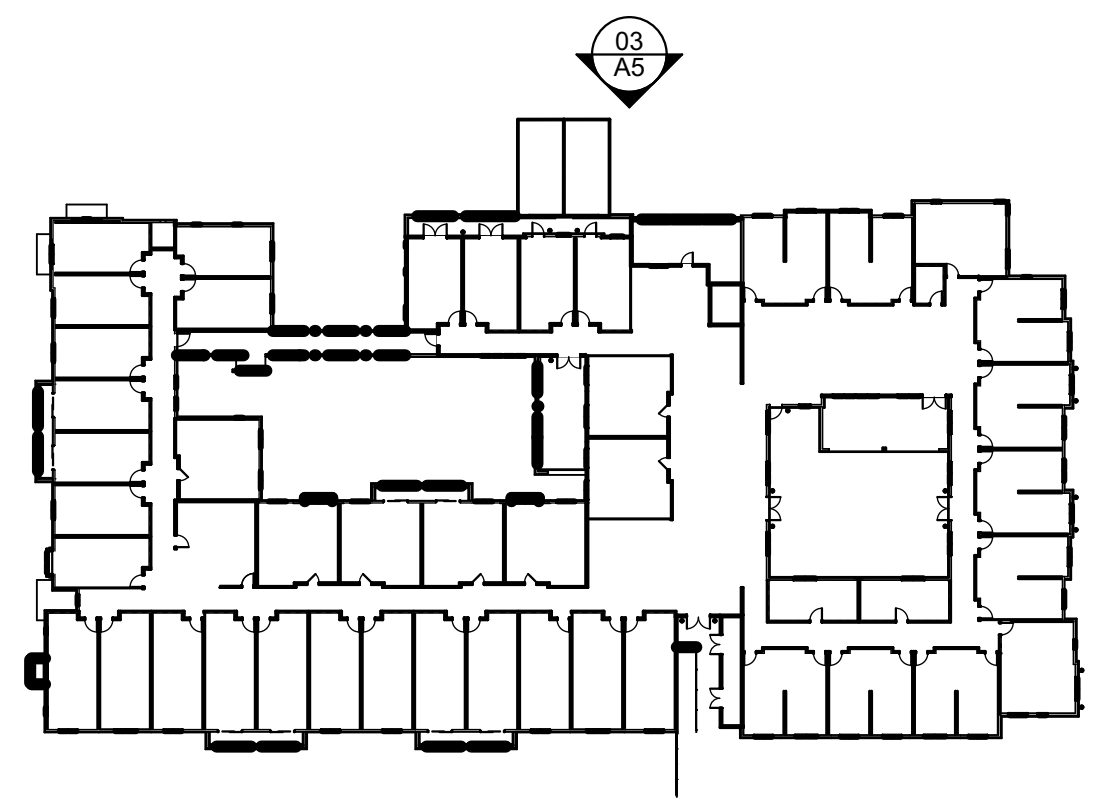


02 MADISON WAY ENLARGED ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"



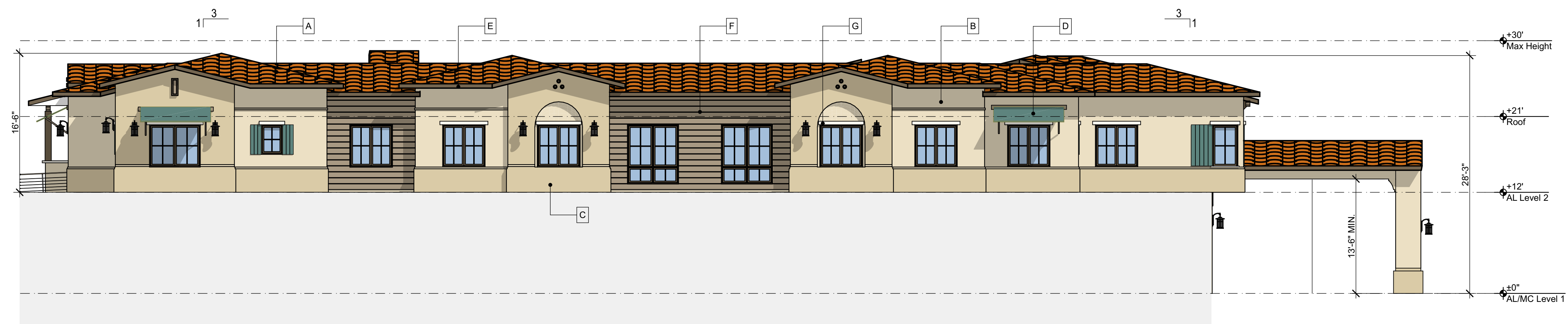
01 MADISON WAY ENLARGED ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

MATERIALS & COLORS LEGEND	
Location	Description
A	Roofs
B	Base Stucco 1
C	Base Stucco 2
D	Accent
E	Fascia
F	Siding
G	Trim
	EAGLE ROOFING CAPISTRANO-3636 PIEDMONT BLEND OR EQ.
	OMEGA/ 434 (3/4) WITH 16/20 SAND FINISH
	OMEGA/ PAINTED: DUNN EDWARDS DE 6185 LIGHT ASPIRATION OR EQ.
	SHERWIN WILLIAMS SW 6215 ROCKY RIVER
	SHERWIN WILLIAMS SW6153 PROTÉGÉ BRONZE
	SHERWIN WILLIAMS SW 0024 CURIO GRAY
	SHERWIN WILLIAMS 7103 WHITETAIL





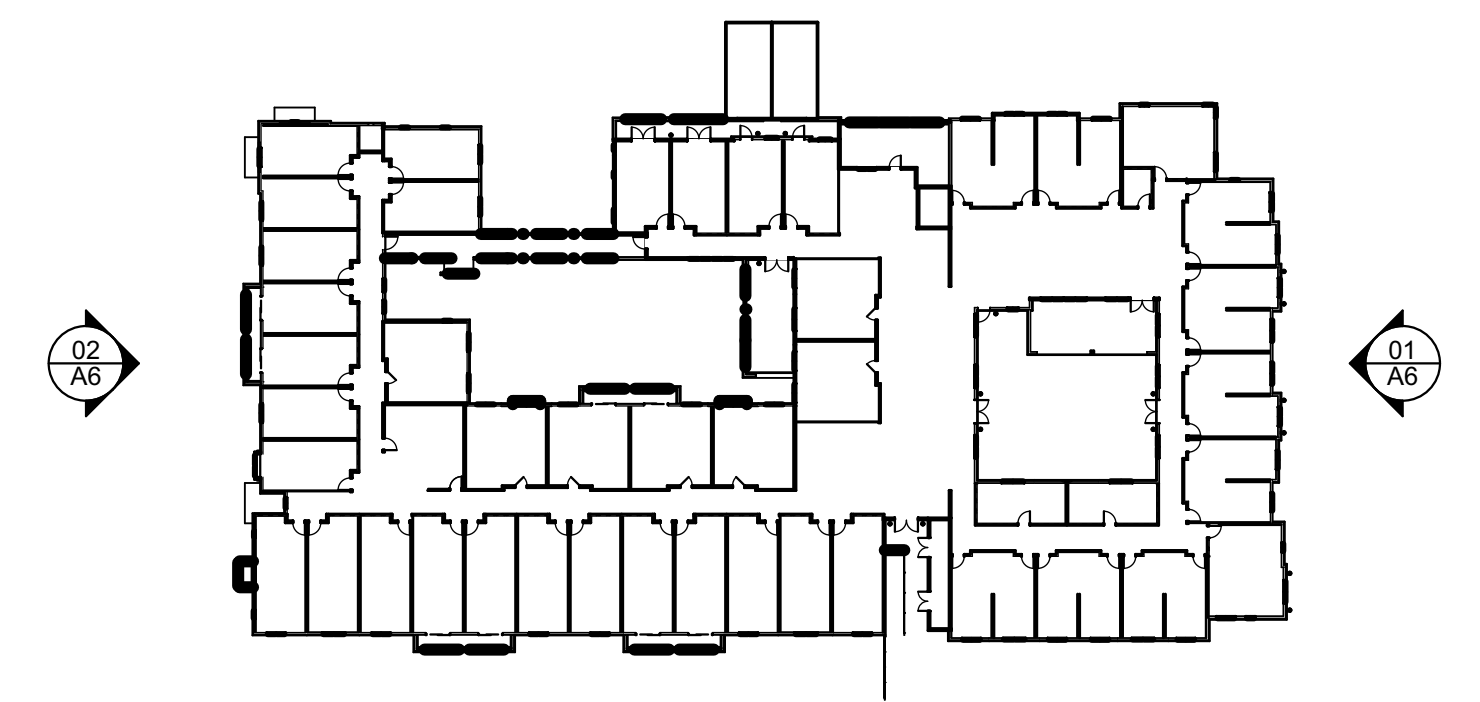
02 PINE AVE FACING ELEVATION (WEST)
SCALE: 1/8" = 1'-0"

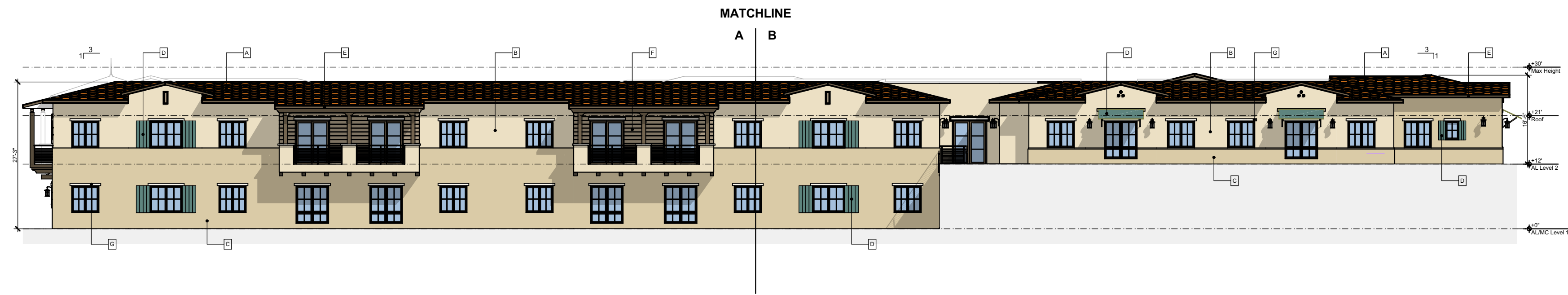


01 S RANDOLPH AVE FACING ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

MATERIALS & COLORS LEGEND	
Location	Description
A	Roofs
B	Base Stucco 1
C	Base Stucco 2
D	Accent
E	Fascia
F	Siding
G	Trim

EAGLE ROOFING CAPISTRANO-3636 PIEDMONT BLEND OR EQ.
OMEGA/ 434 (3/4) WITH 16/20 SAND FINISH
OMEGA/ PAINTED: DUNN EDWARDS DE 6185 LIGHT ASPIRATION OR EQ.
SHERWIN WILLIAMS SW 6215 ROCKY RIVER
SHERWIN WILLIAMS SW6153 PROTÉGÉ BRONZE
SHERWIN WILLIAMS SW 0024 CURIO GRAY
SHERWIN WILLIAMS 7103 WHITETAIL

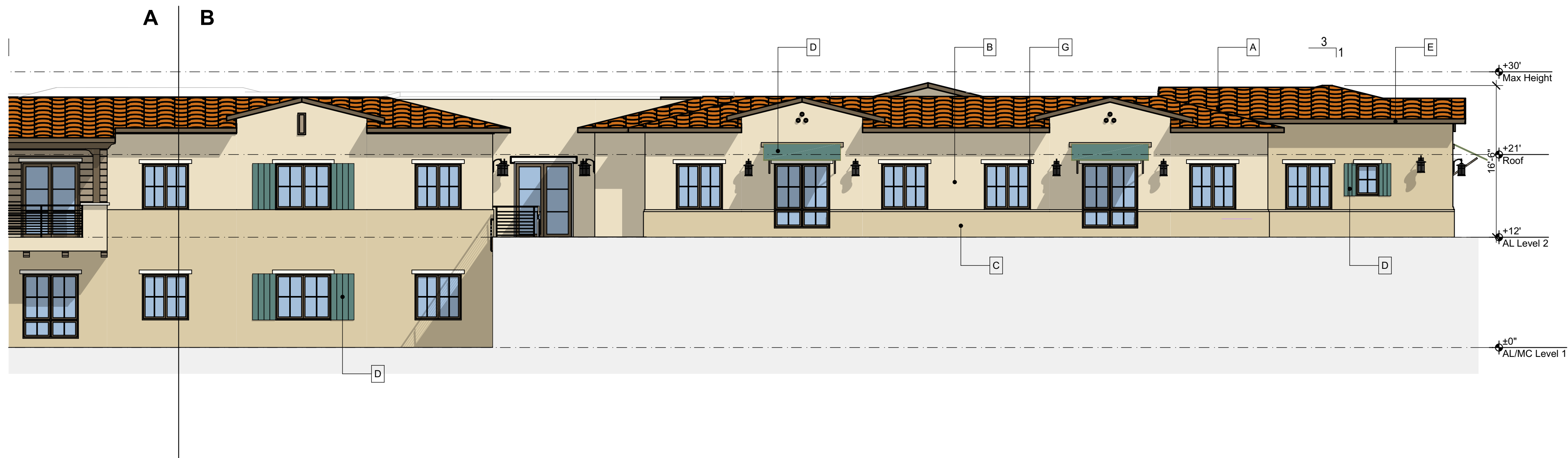




03 SOUTH ELEVATION-OVERALL
SCALE: 1/16" = 1'-0"

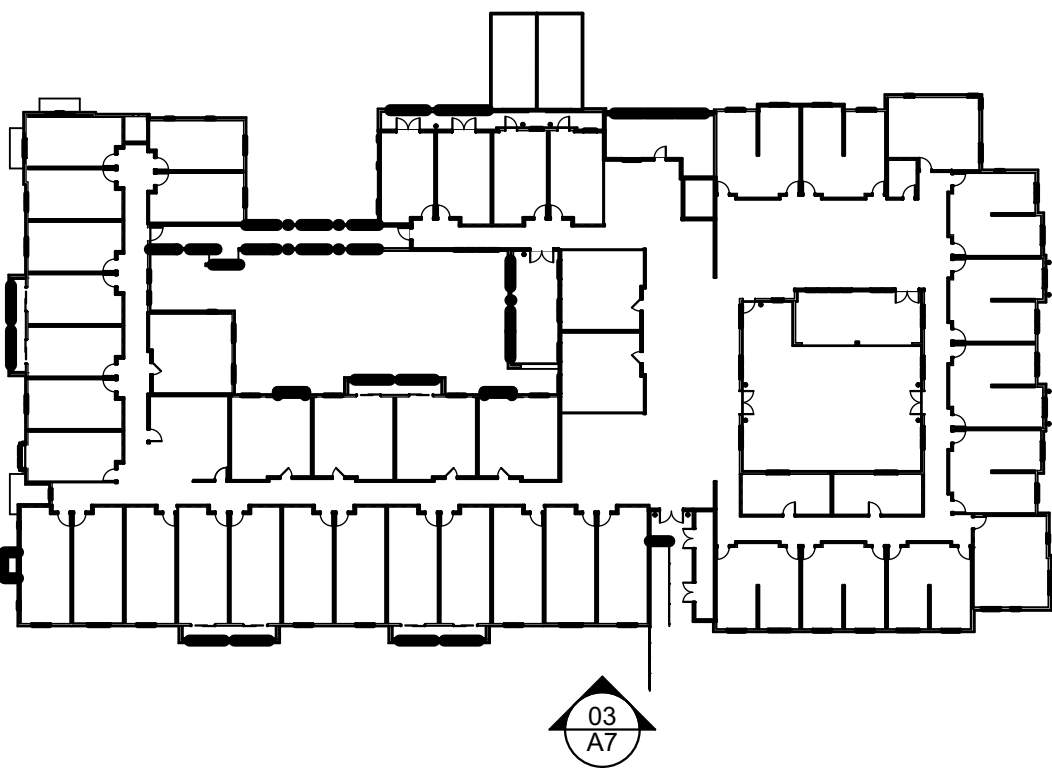


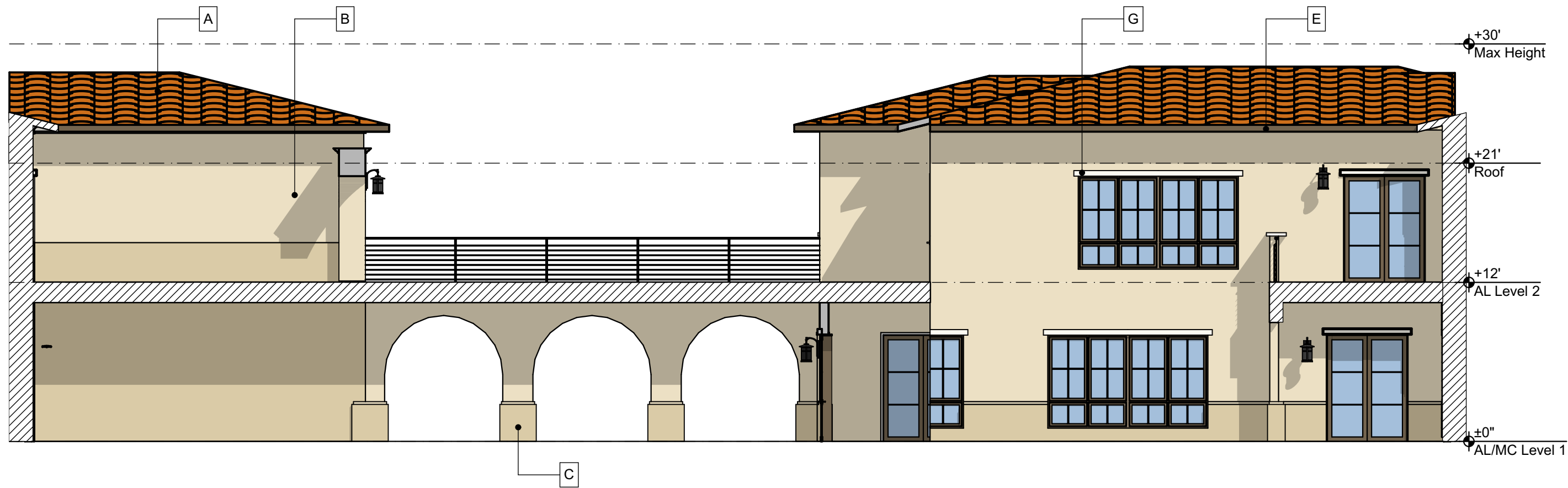
02 ENLARGED ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



01 ENLARGED ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"

MATERIALS & COLORS LEGEND	
Location	Description
A	Roofs
B	Base Stucco 1
C	Base Stucco 2
D	Accent
E	Fascia
F	Siding
G	Trim
	EAGLE ROOFING CAPISTRANO-3636 PIEDMONT BLEND OR EQ.
	OMEGA/ 434 (3/4) WITH 16/20 SAND FINISH
	OMEGA/ PAINTED: DUNN EDWARDS DE 6185 LIGHT ASPIRATION OR EQ.
	SHERWIN WILLIAMS SW 6215 ROCKY RIVER
	SHERWIN WILLIAMS SW6153 PROTÉGÉ BRONZE
	SHERWIN WILLIAMS SW 0024 CURIO GRAY
	SHERWIN WILLIAMS 7103 WHITETAIL





01 AL Courtyard - North Elevation
SCALE: 1/8" = 1'-0"



02 AL Courtyard - South Elevation
SCALE: 1/8" = 1'-0"

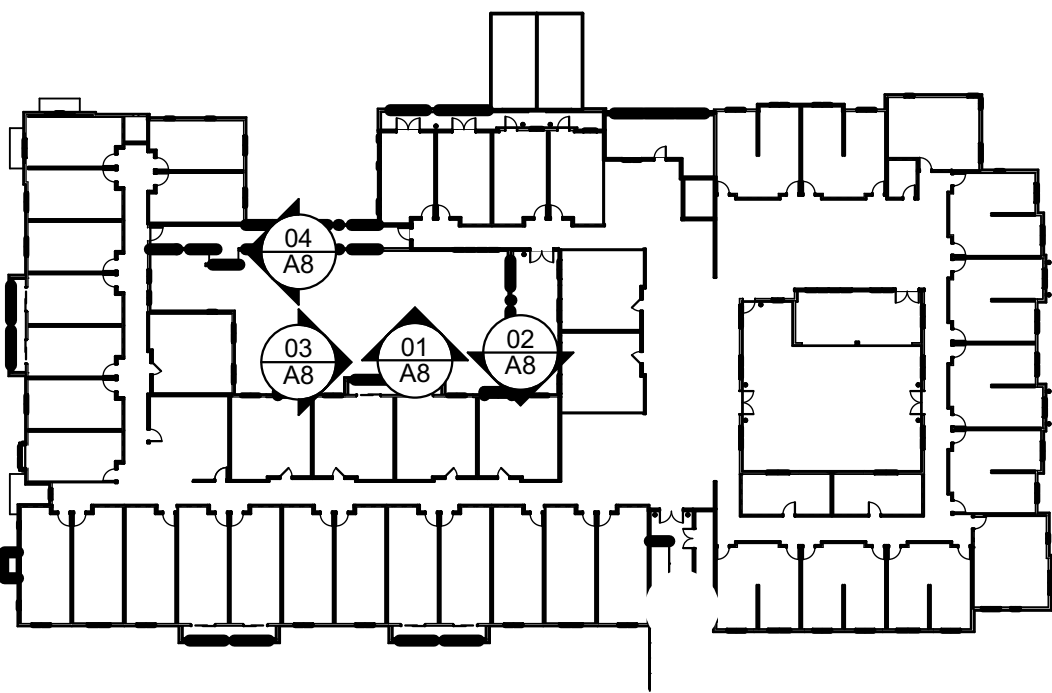


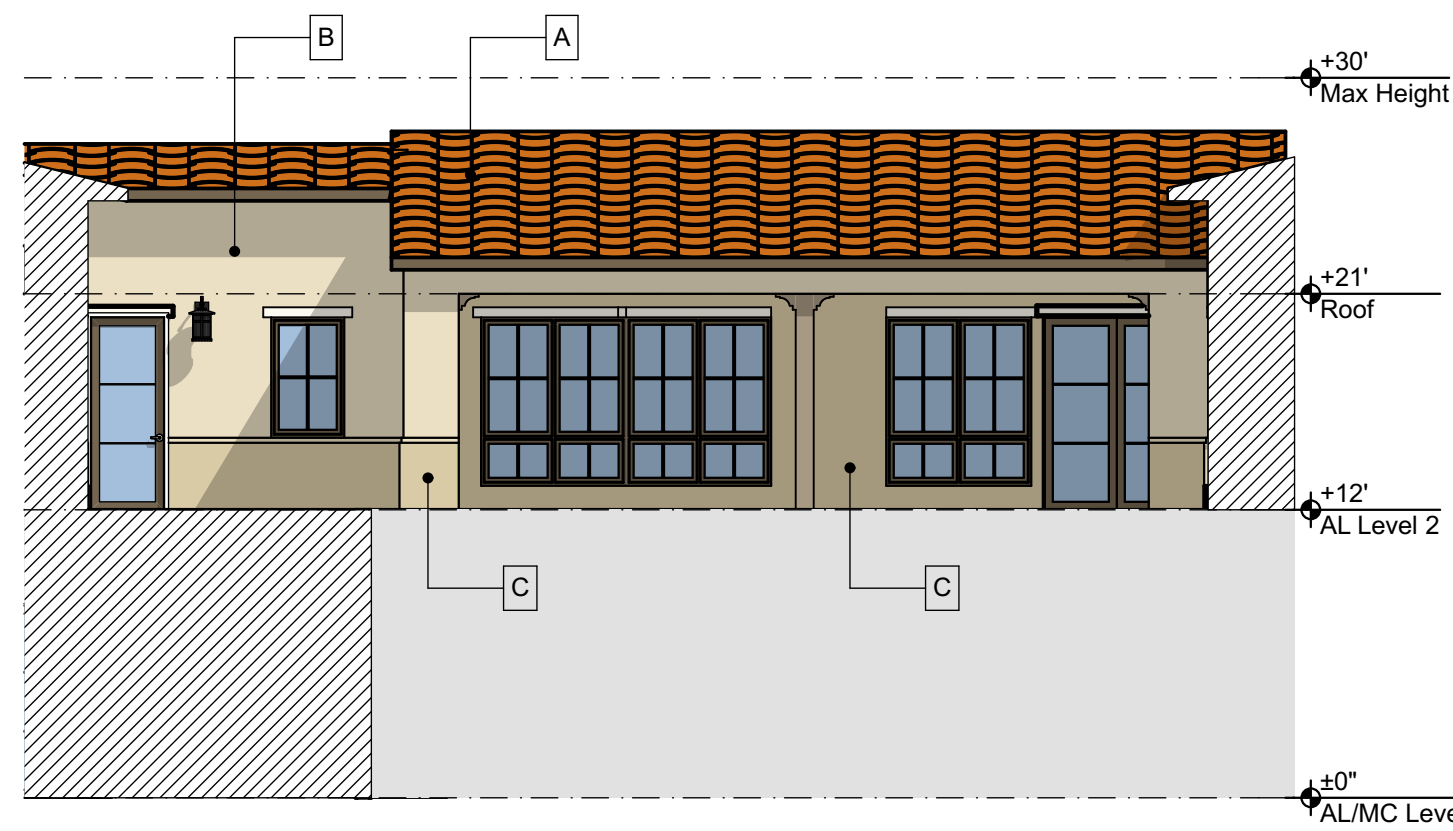
03 AL Courtyard - East Elevation
SCALE: 1/8" = 1'-0"



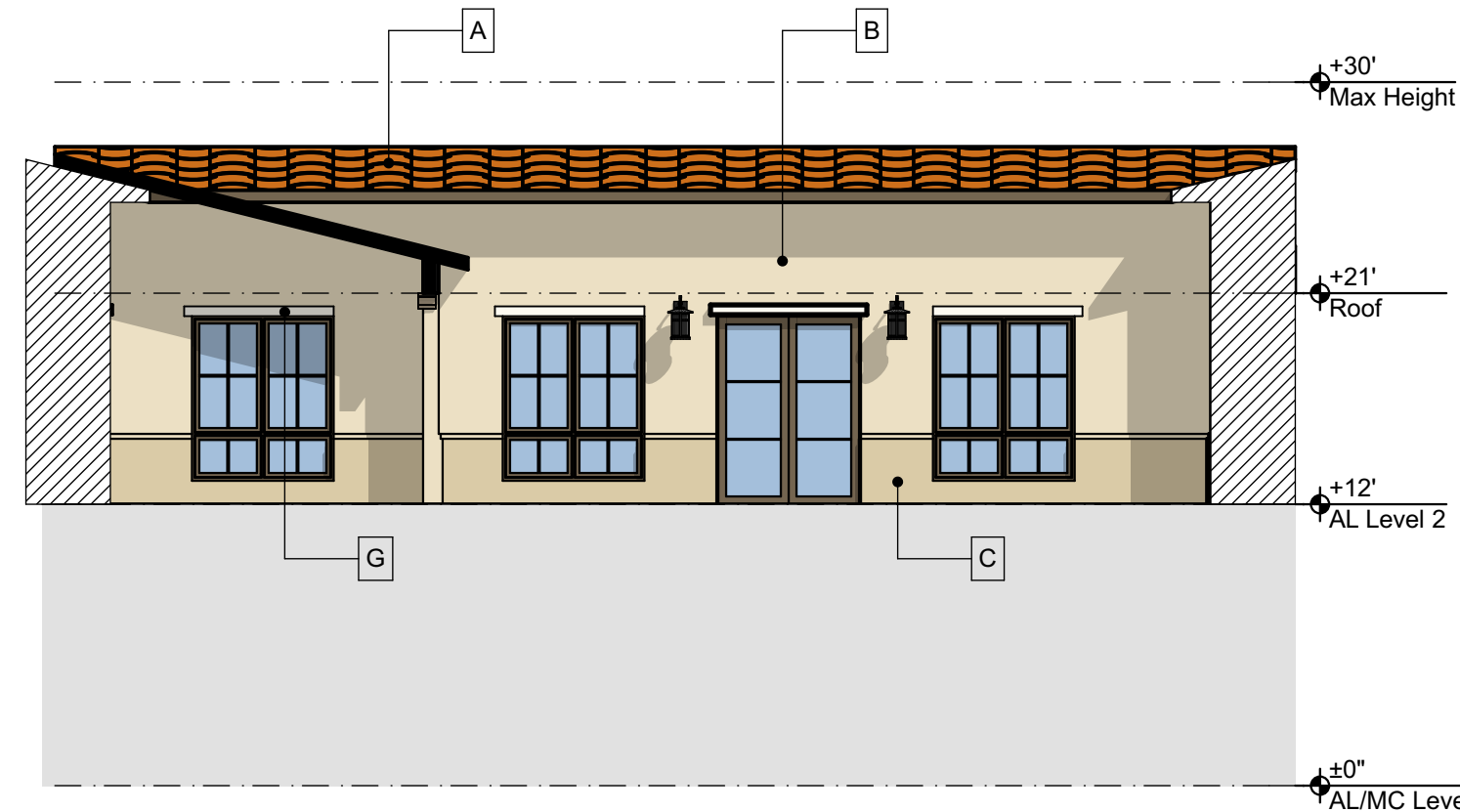
04 AL Courtyard - West Elevation
SCALE: 1/8" = 1'-0"

MATERIALS & COLORS LEGEND	
Location	Description
A	Roofs
B	Base Stucco 1
C	Base Stucco 2
D	Accent
E	Fascia
F	Siding
G	Trim
	EAGLE ROOFING CAPISTRANO-3636 PIEDMONT BLEND OR EQ.
	OMEGA/ 434 (3/4) WITH 16/20 SAND FINISH
	OMEGA/ PAINTED: DUNN EDWARDS DE 6185 LIGHT ASPIRATION OR EQ.
	SHERWIN WILLIAMS SW 6215 ROCKY RIVER
	SHERWIN WILLIAMS SW6153 PROTÉGÉ BRONZE
	SHERWIN WILLIAMS SW 0024 CURIO GRAY
	SHERWIN WILLIAMS 7103 WHITETAIL

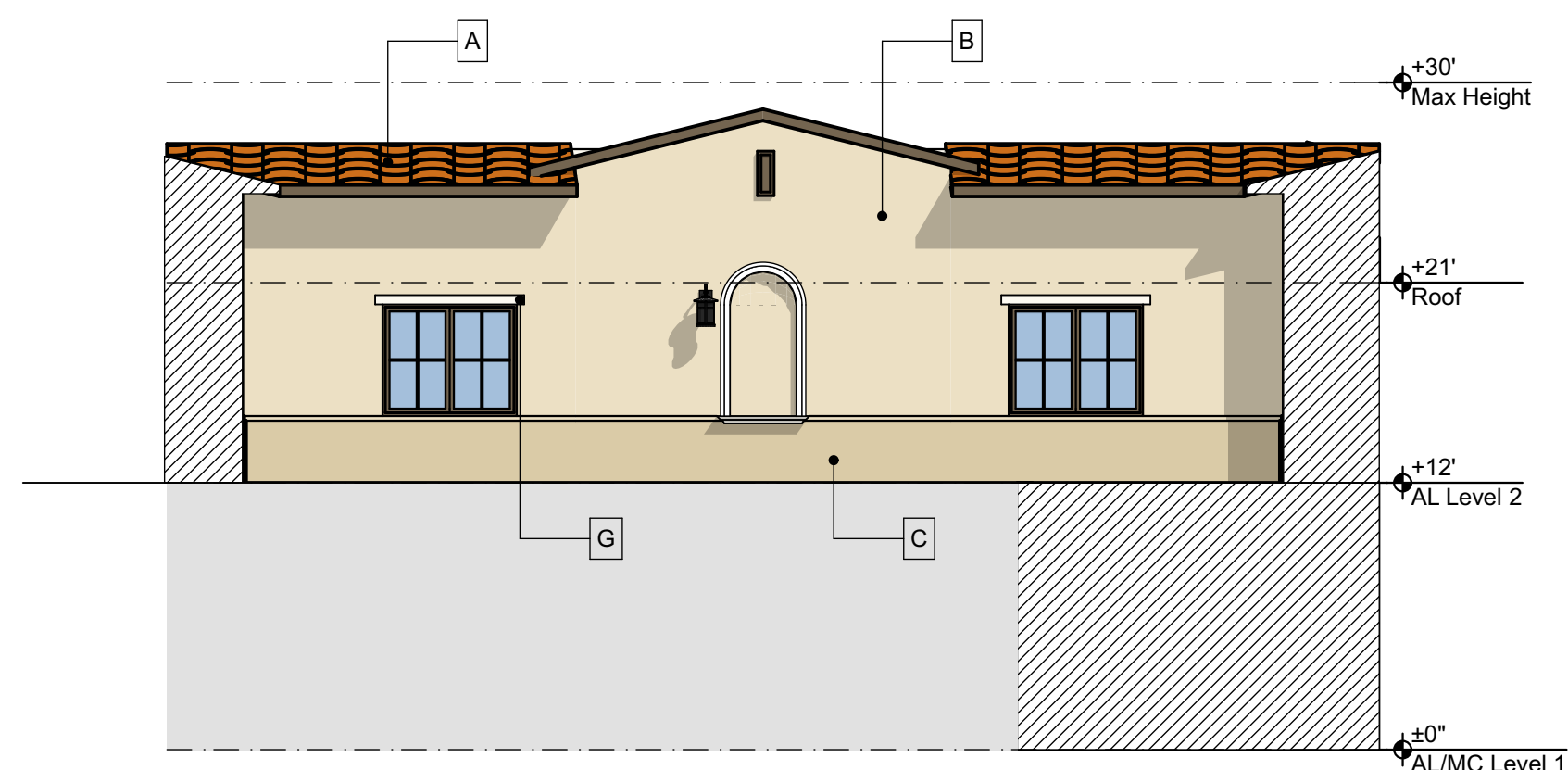




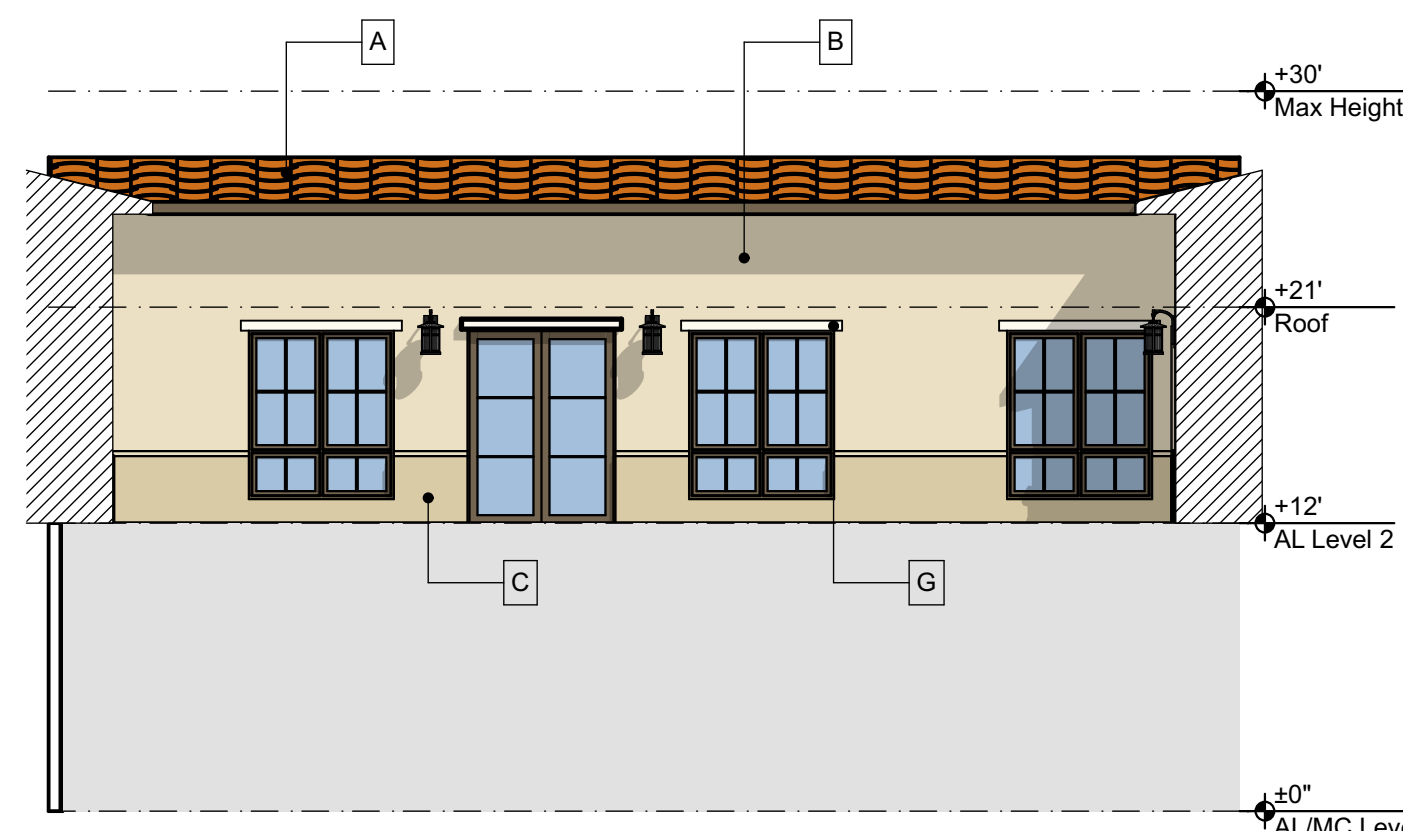
01 MC Courtyard-North
SCALE: 1/8" = 1'-0"



02 MC Courtyard-East
SCALE: 1/8" = 1'-0"

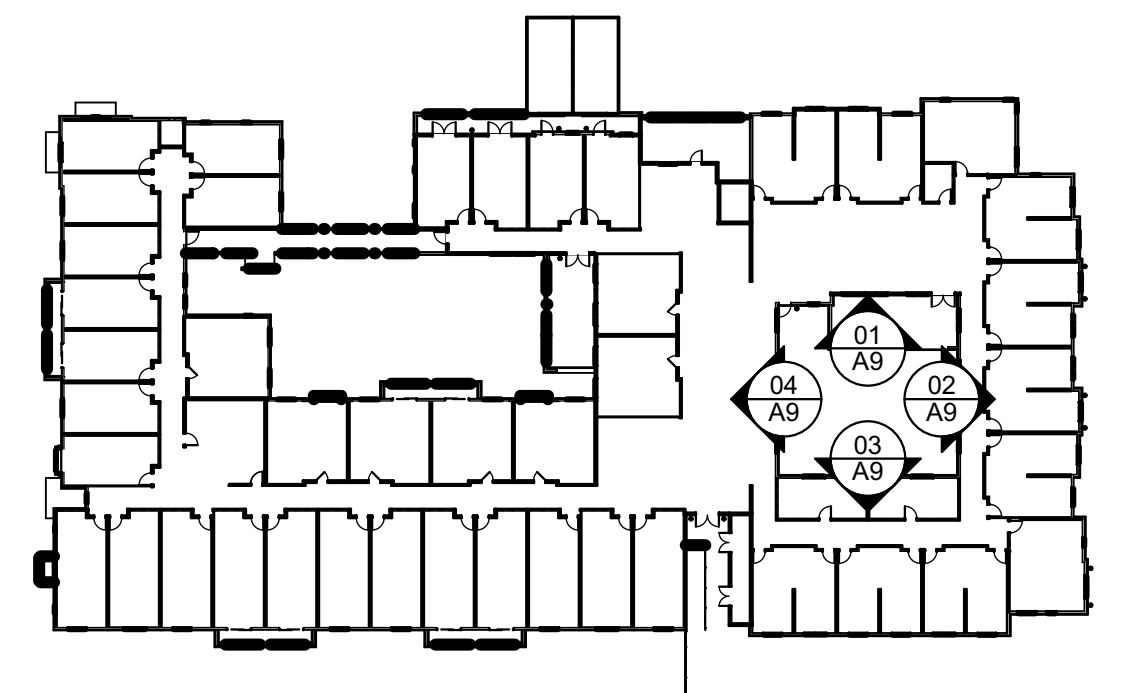


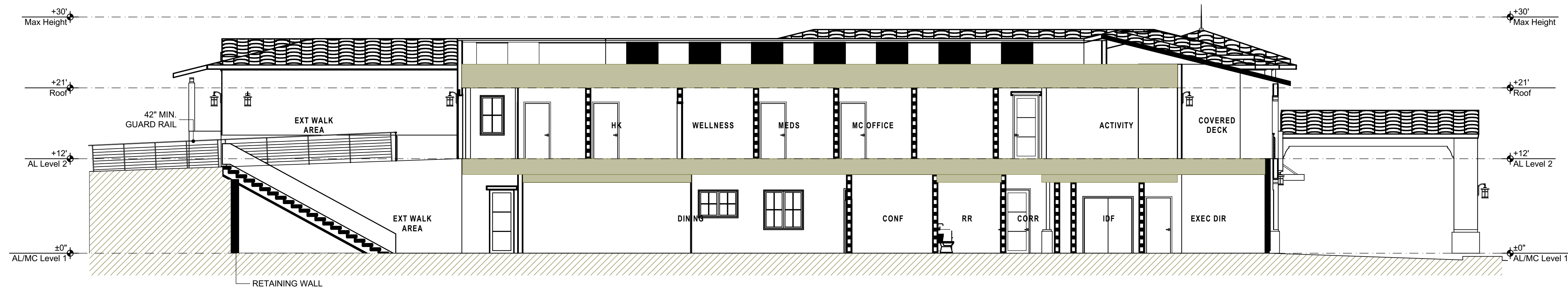
03 MC Courtyard-South
SCALE: 1/8" = 1'-0"



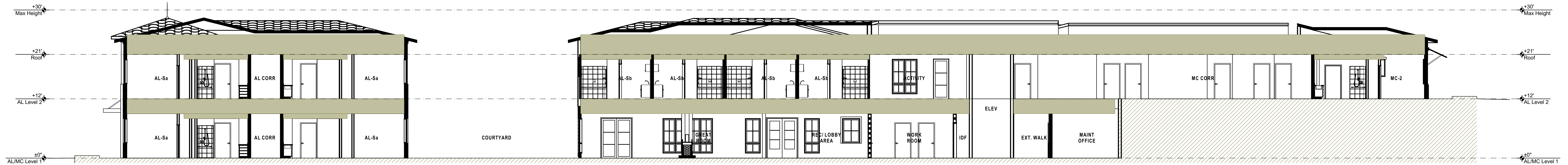
04 MC Courtyard-West
SCALE: 1/8" = 1'-0"

MATERIALS & COLORS LEGEND	
Location	Description
A	Roofs
B	Base Stucco 1
C	Base Stucco 2
D	Accent
E	Fascia
F	Siding
G	Trim
	EAGLE ROOFING CAPISTRANO-3636 PIEDMONT BLEND OR EQ.
	OMEGA/ 434 (3/4) WITH 16/20 SAND FINISH
	OMEGA/ PAINTED: DUNN EDWARDS DE 6185 LIGHT ASPIRATION OR EQ.
	SHERWIN WILLIAMS SW 6215 ROCKY RIVER
	SHERWIN WILLIAMS SW6153 PROTÉGÉ BRONZE
	SHERWIN WILLIAMS SW 0024 CURIO GRAY
	SHERWIN WILLIAMS 7103 WHITETAIL

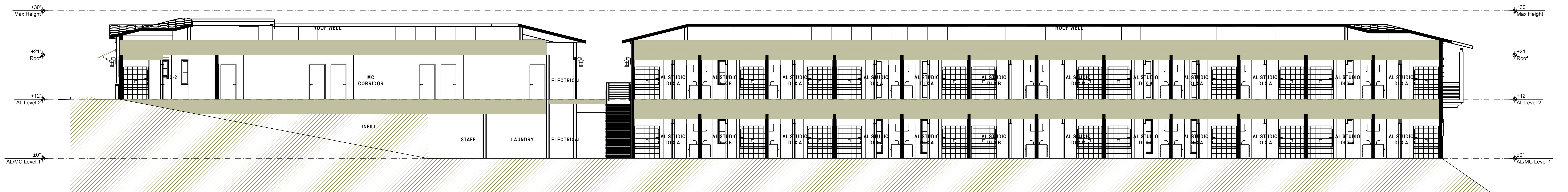




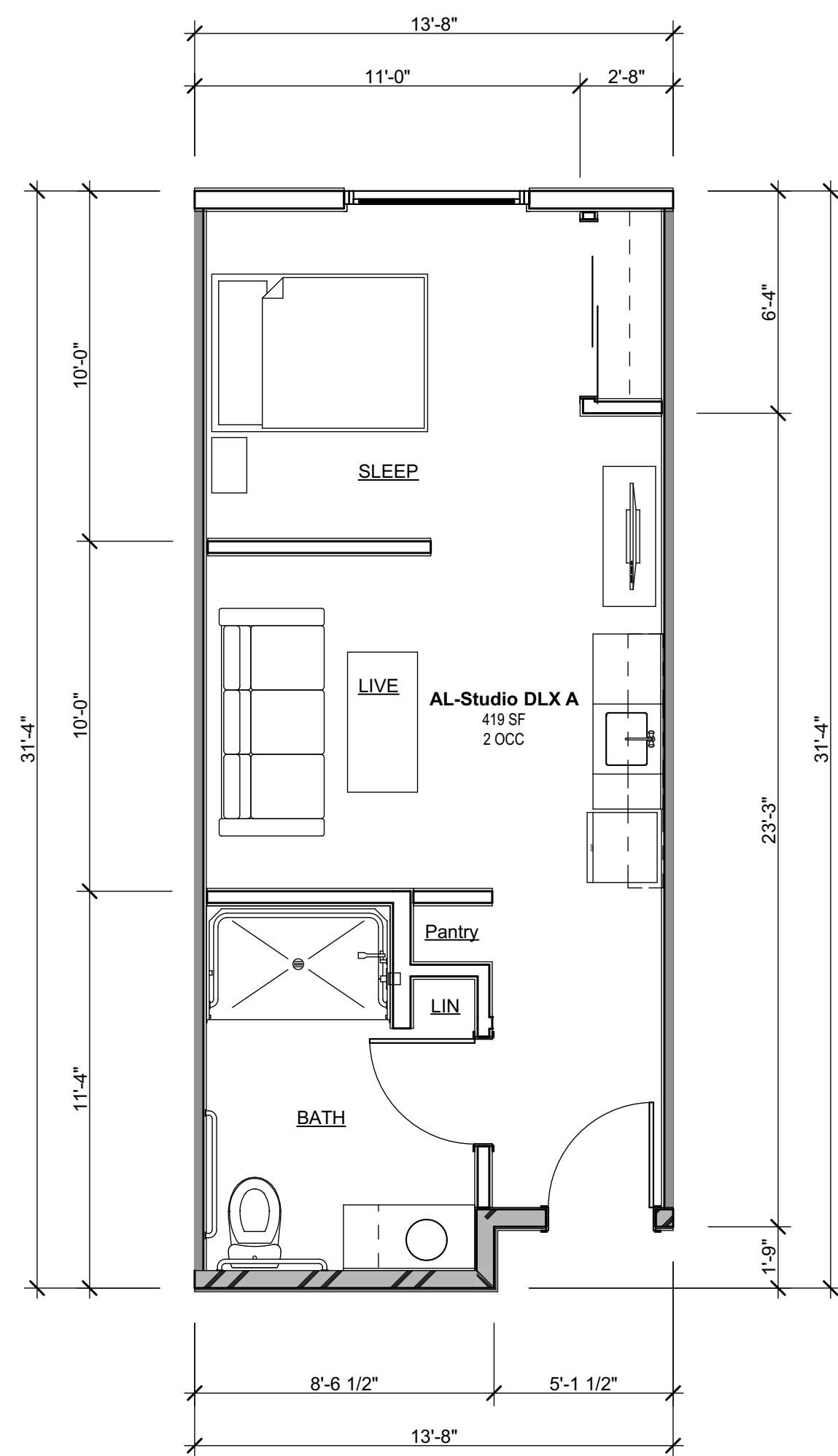
01 SECTION A
SCALE: 1/8" = 1'-0"



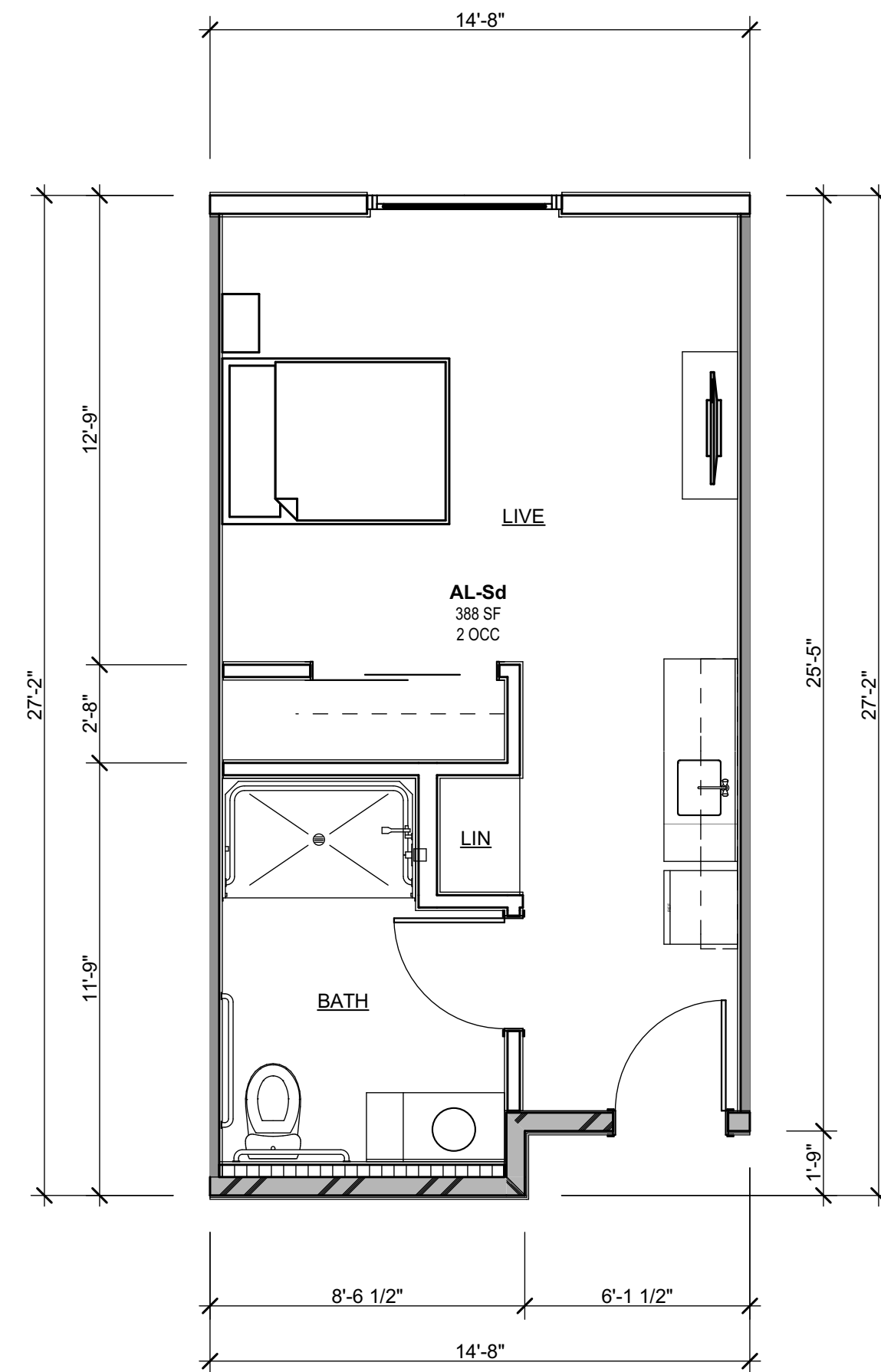
02 SECTION B
SCALE: 1/8" = 1'-0"



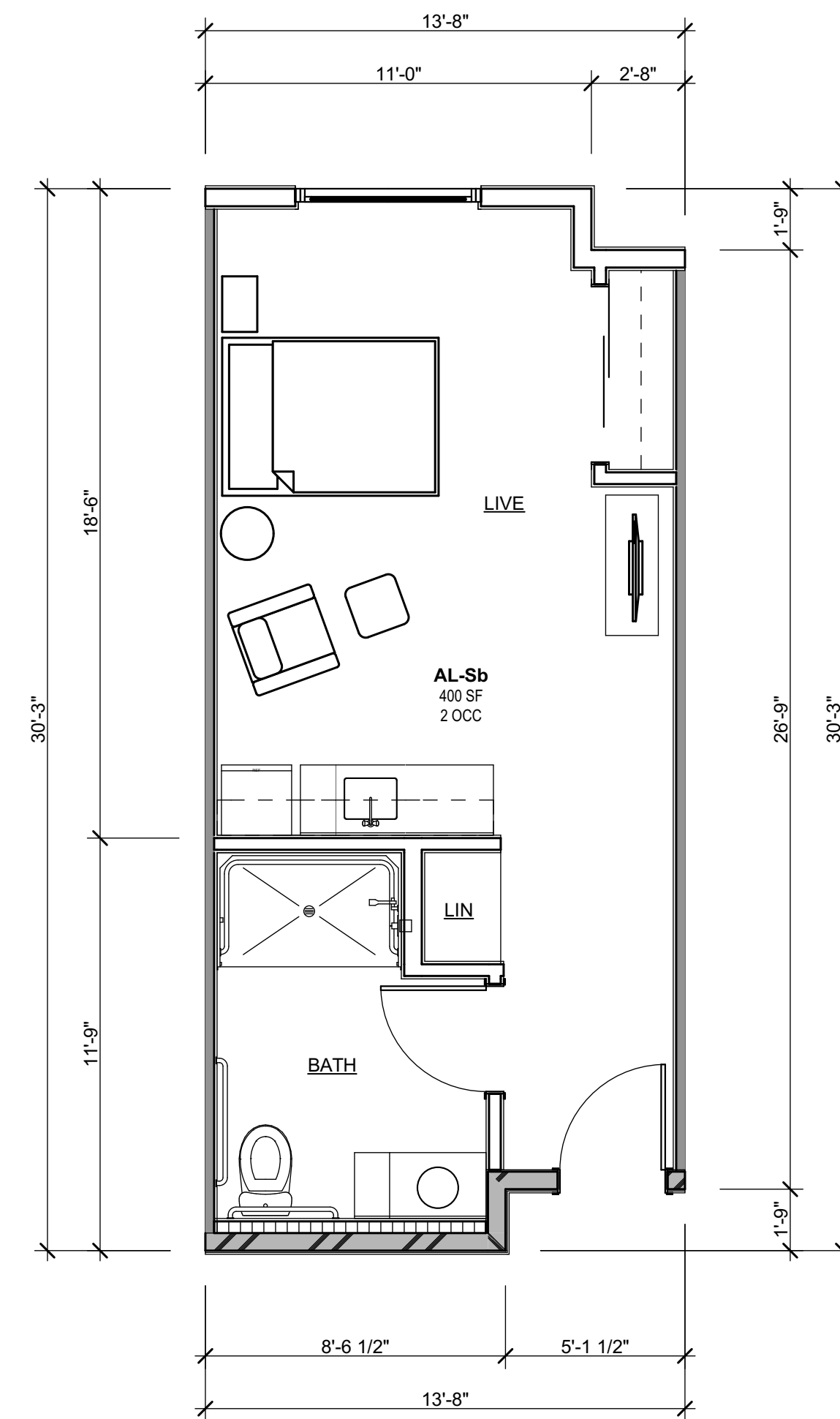
03 SECTION C
SCALE: 1/8" = 1'-0"



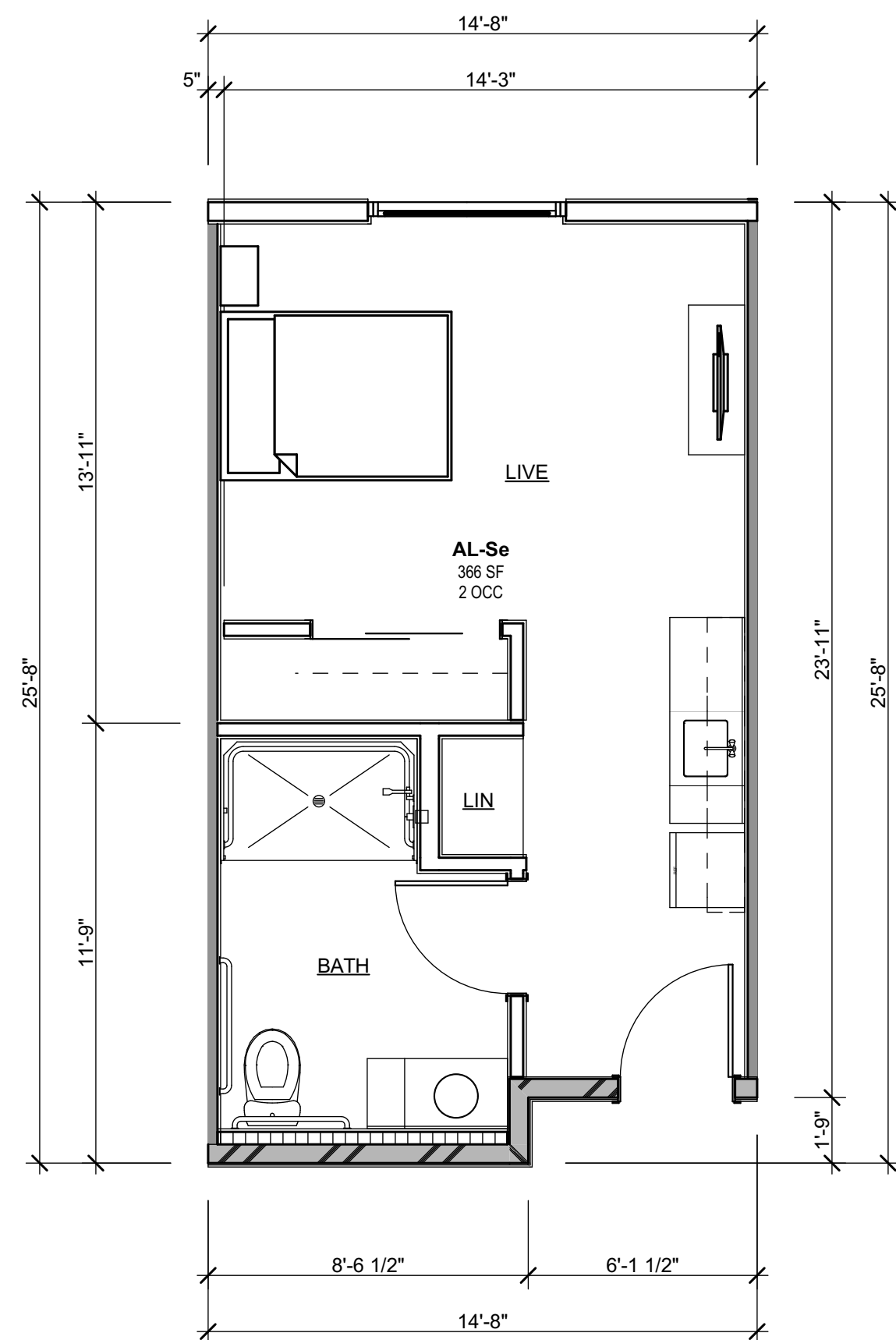
08AL-STUDIO DLX A
SCALE: 1/4" = 1'-0"



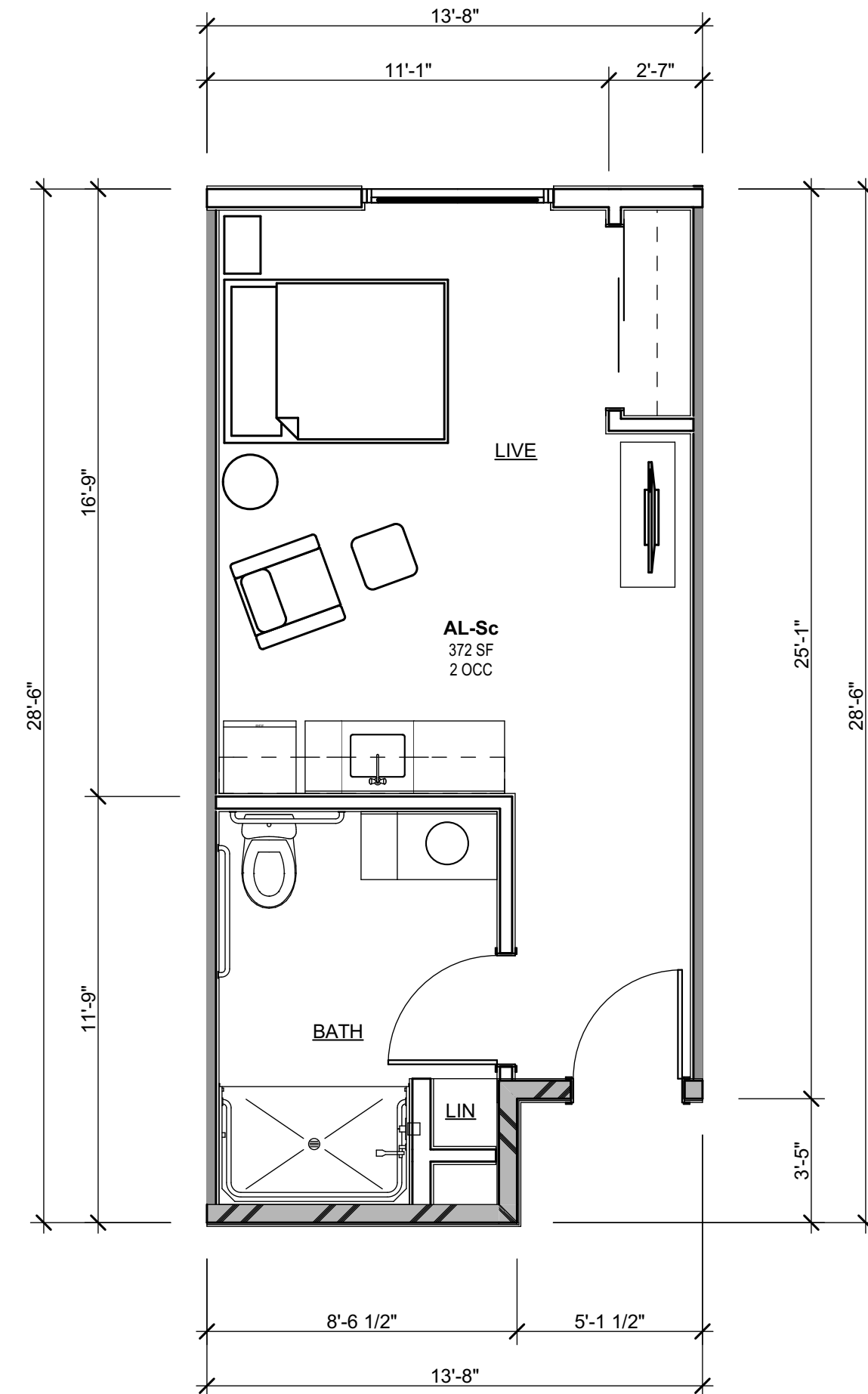
05AL STUDIO D
SCALE: 1/4" = 1'-0"



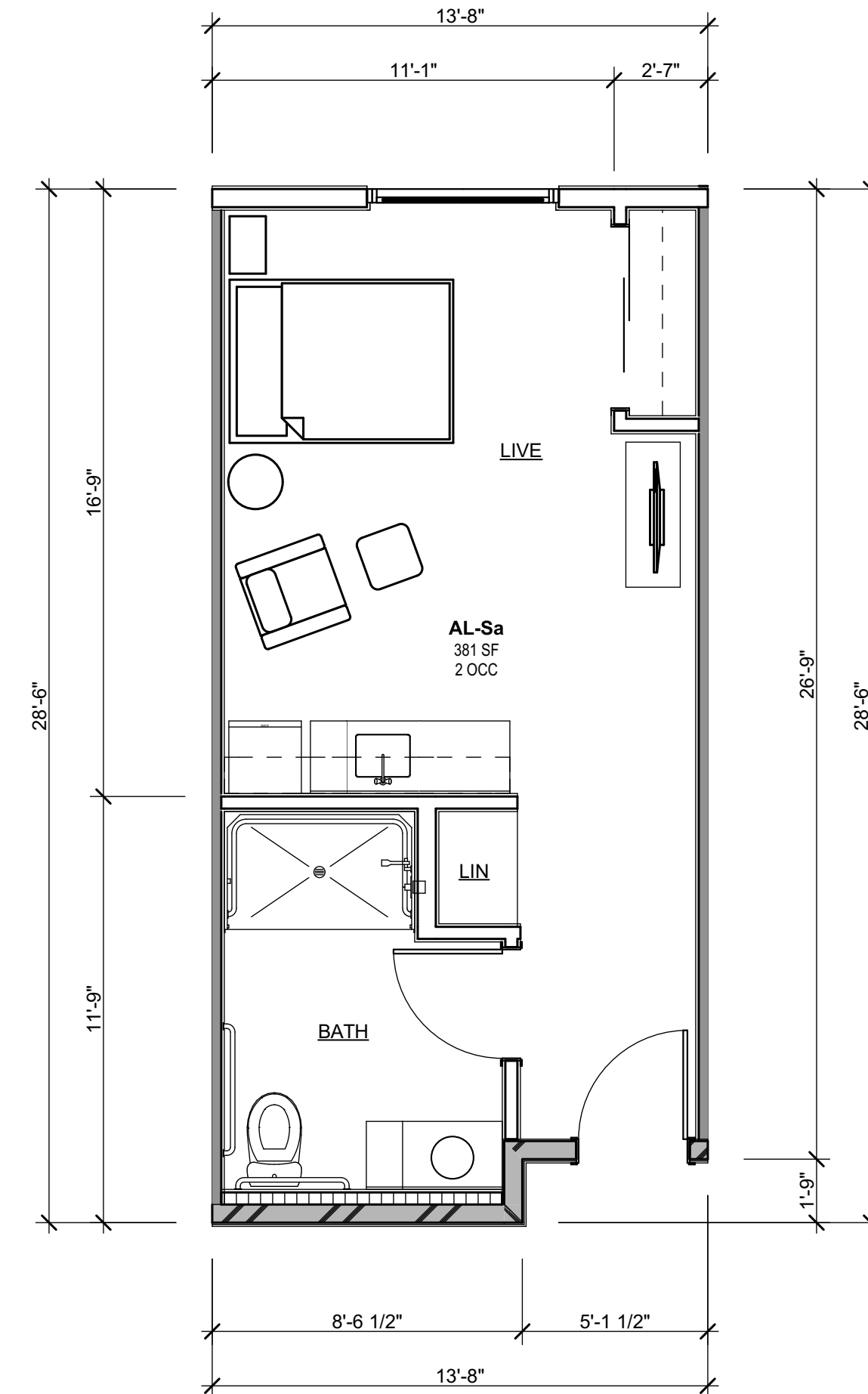
02AL STUDIO B
SCALE: 1/4" = 1'-0"



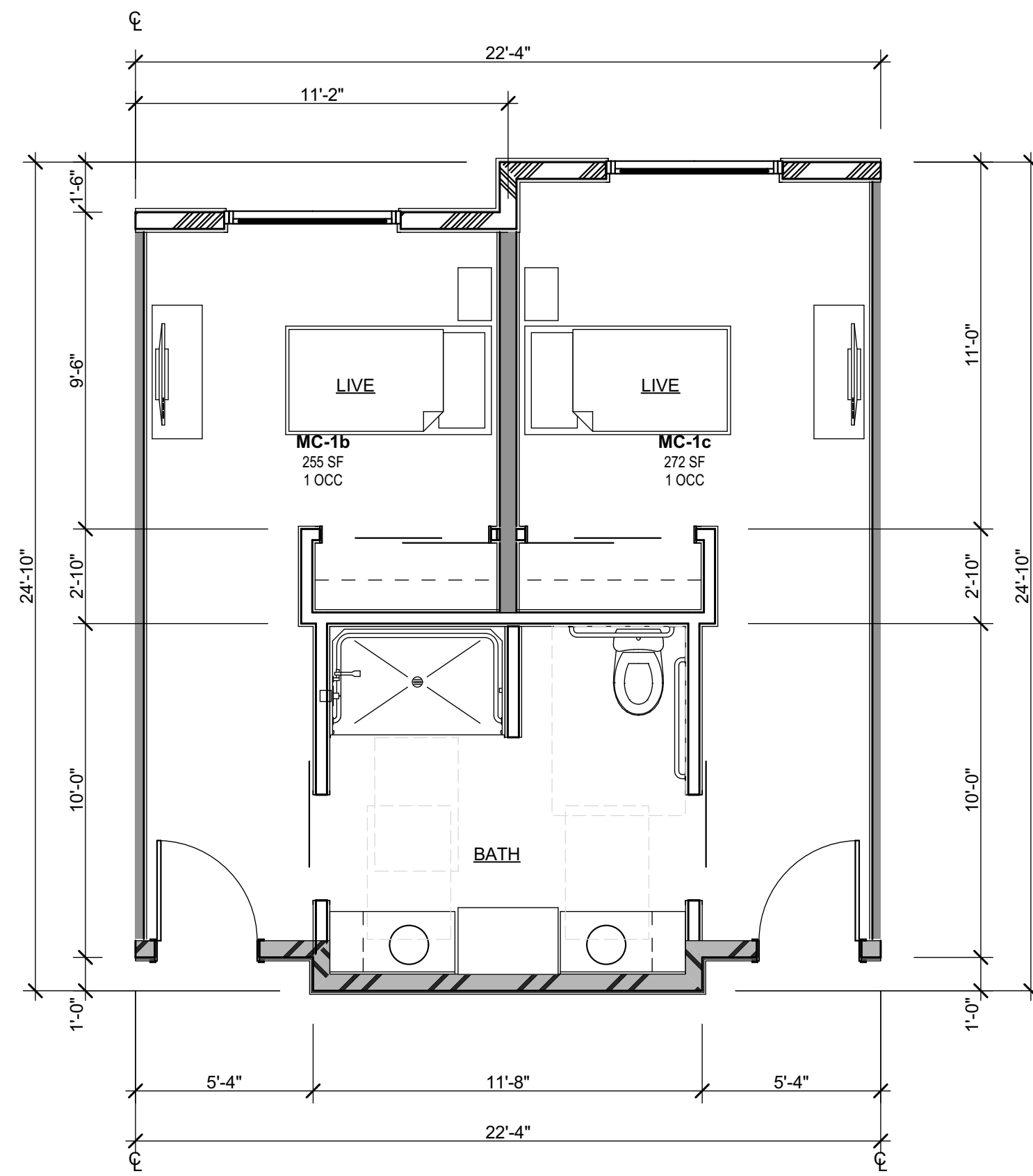
07AL STUDIO E
SCALE: 1/4" = 1'-0"



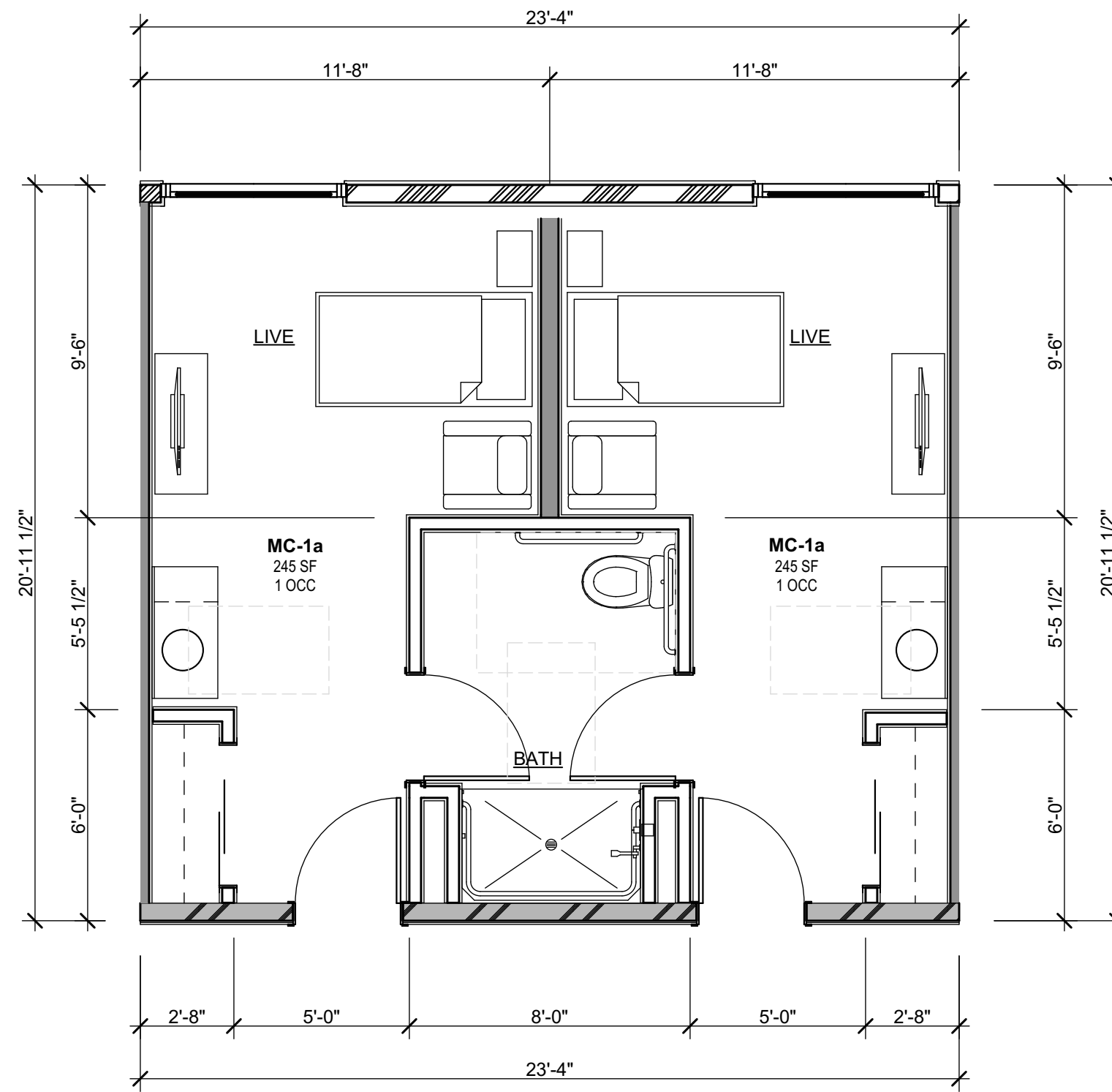
04AL STUDIO C
SCALE: 1/4" = 1'-0"



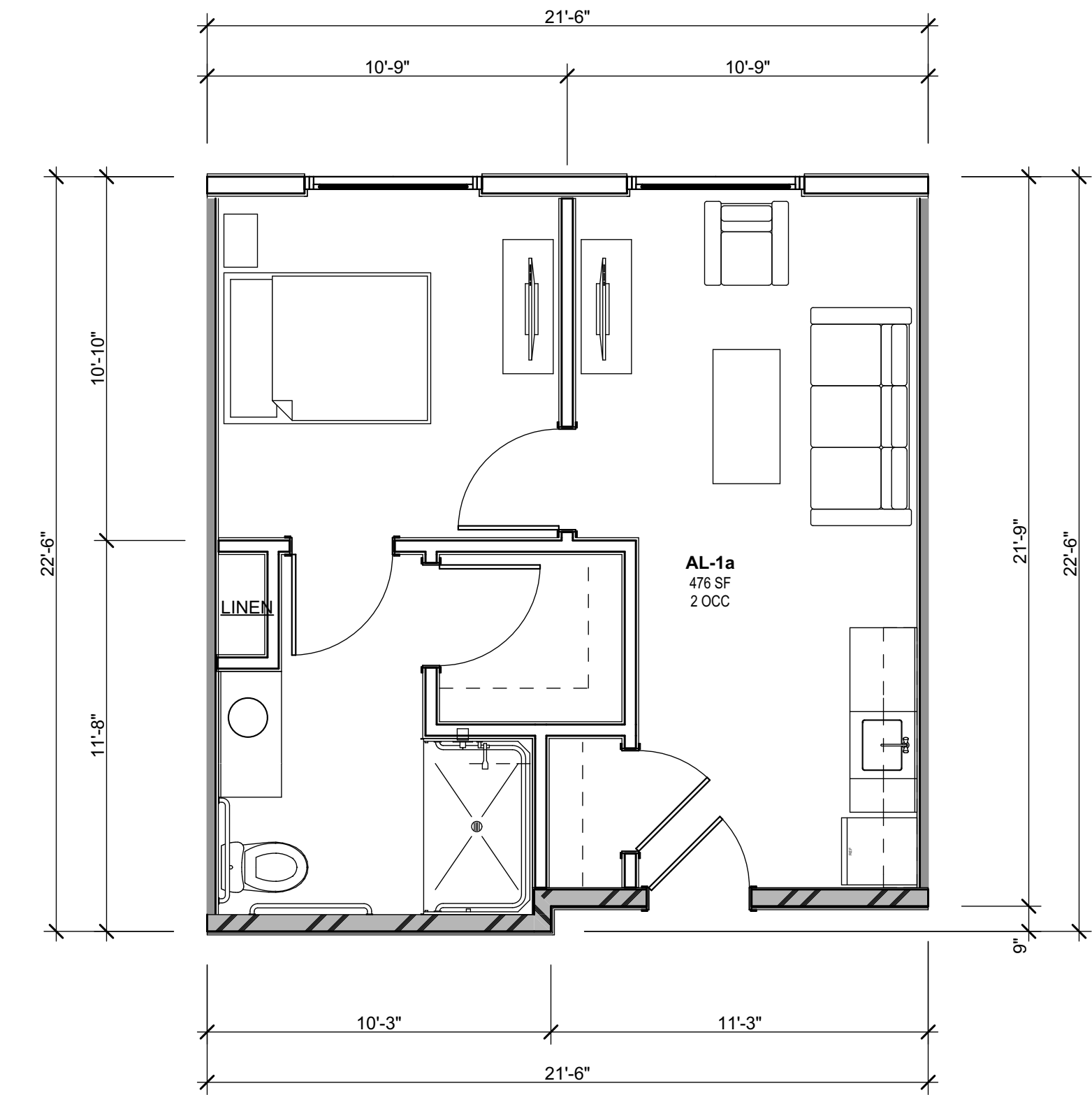
01AL STUDIO A
SCALE: 1/4" = 1'-0"



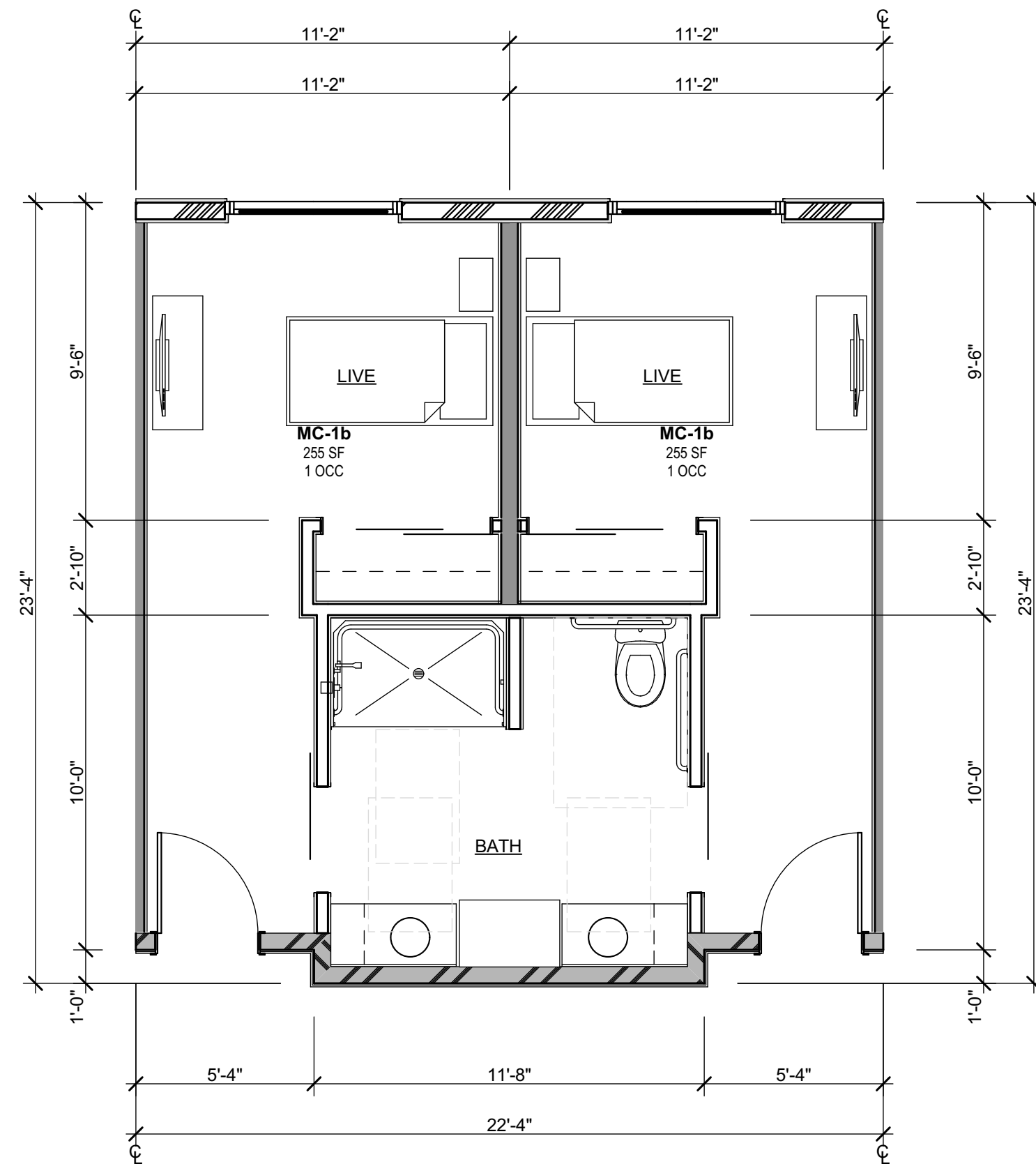
08 MC PRIVATE/SH BATH BC
SCALE: 1/4" = 1'-0"



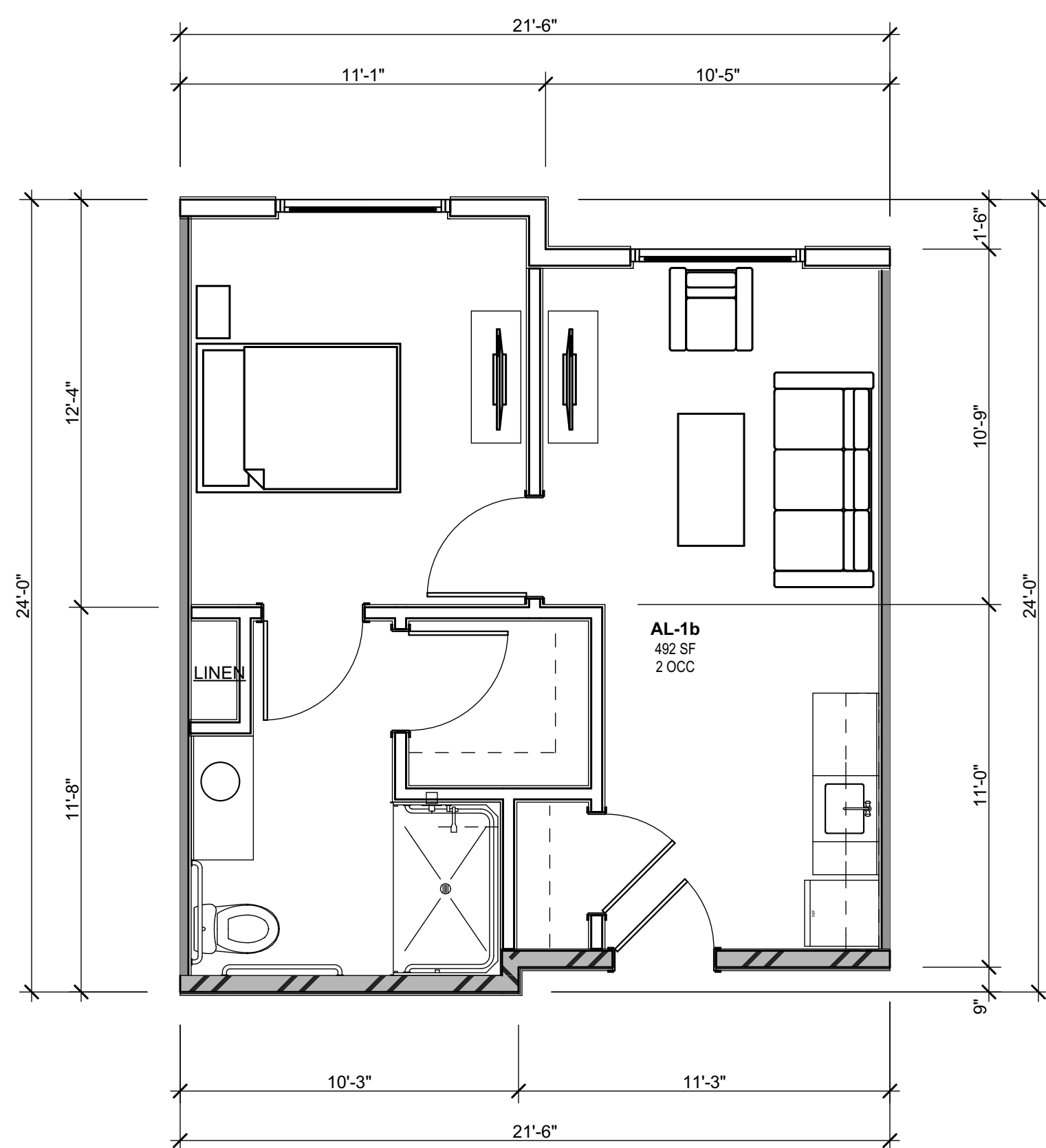
05 MC PRIVATE/SH BATH AA
SCALE: 1/4" = 1'-0"



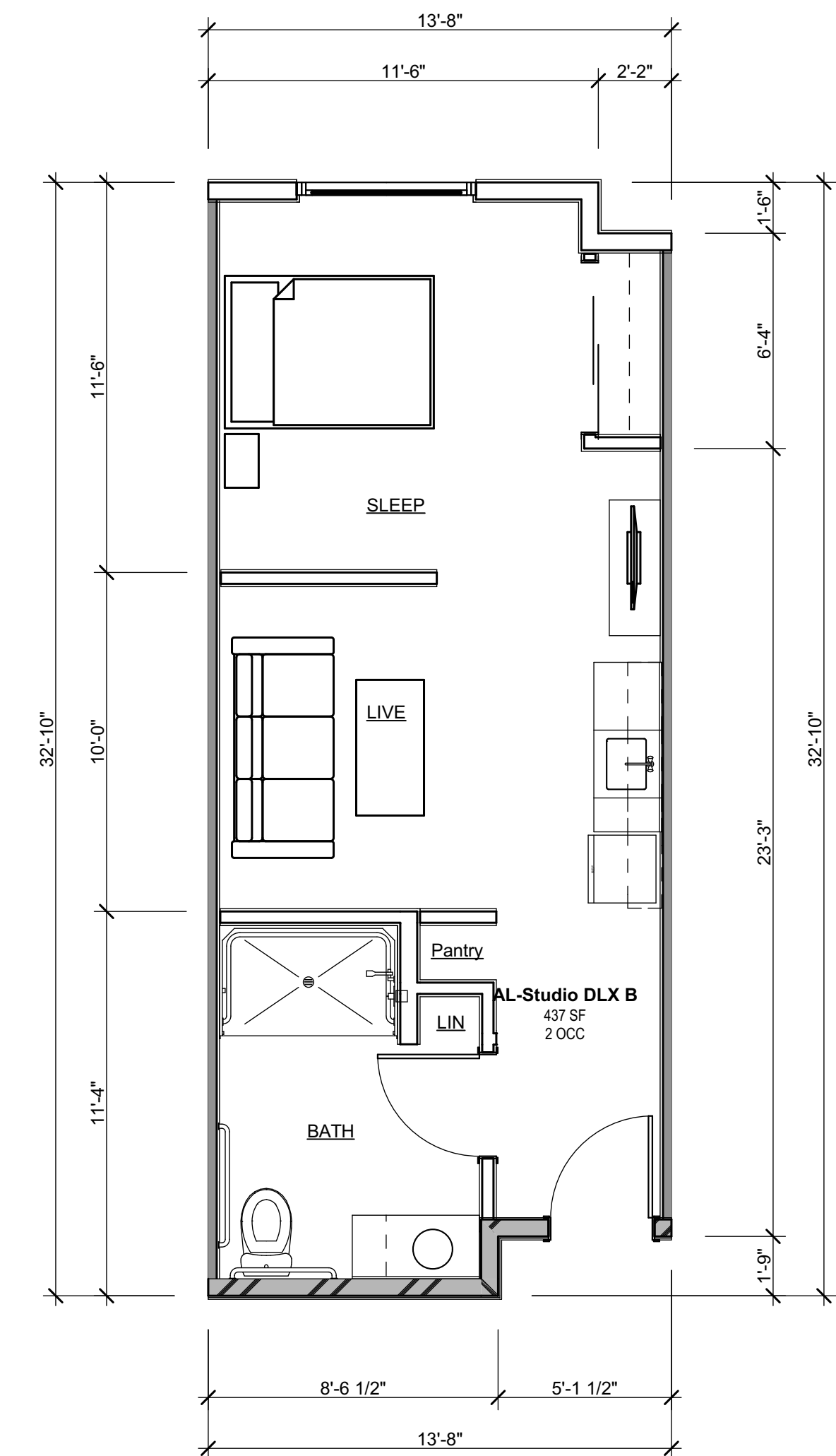
02 AL-1 BED A
SCALE: 1/4" = 1'-0"



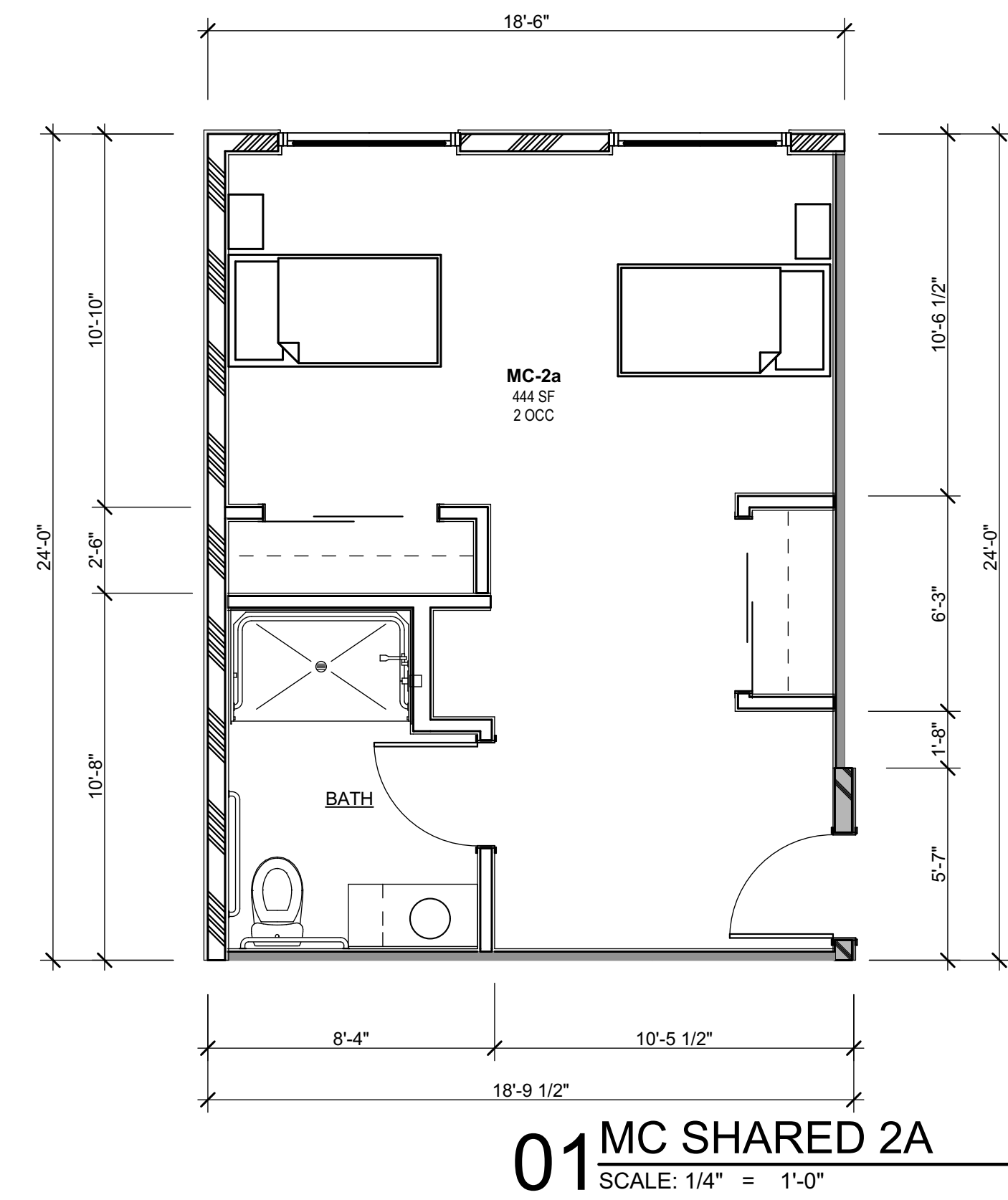
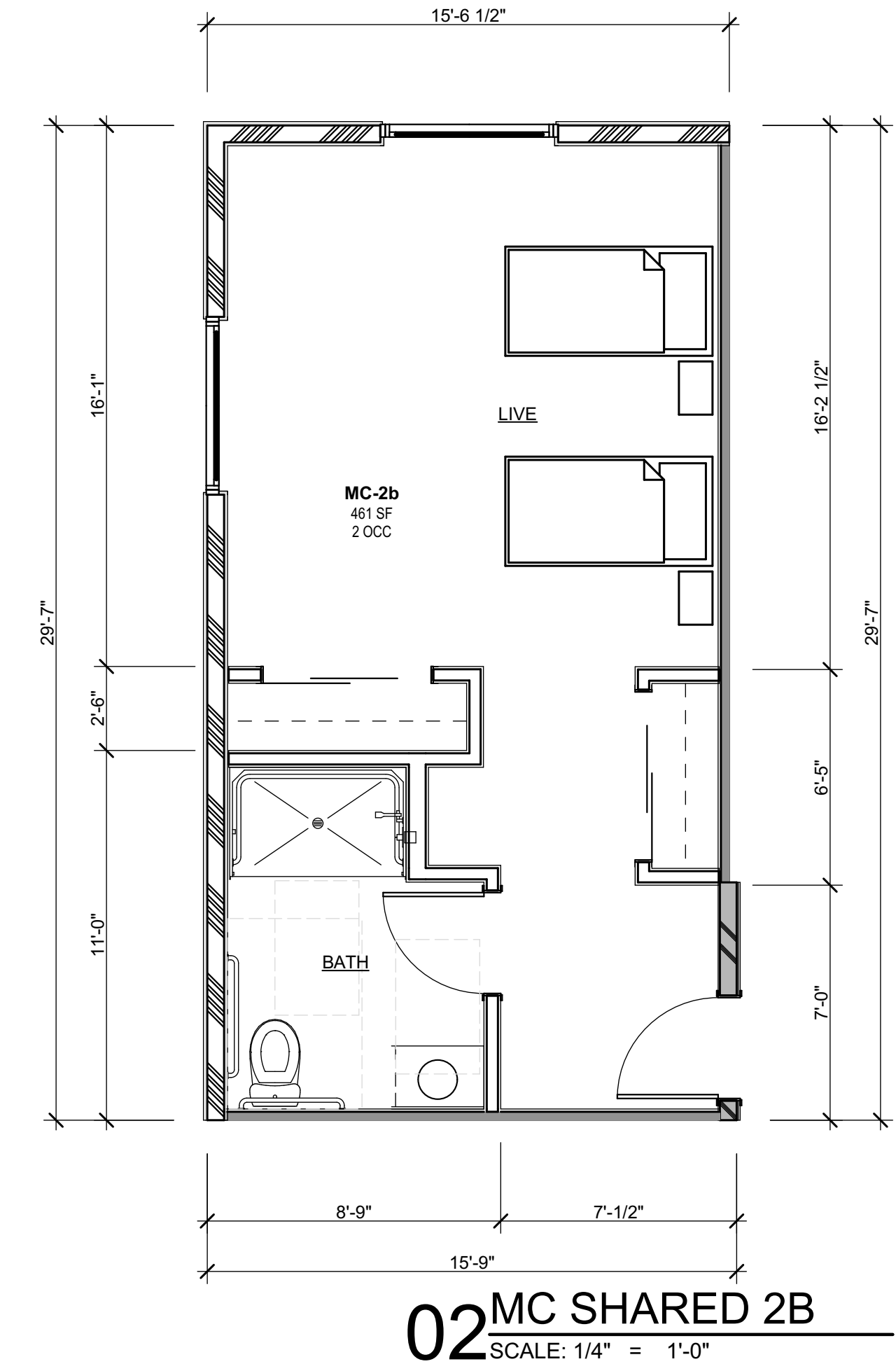
07 MC PRIVATE/SH BATH BB
SCALE: 1/4" = 1'-0"







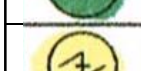




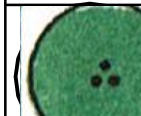
04 AL-1 BED B
SCALE: 1/4" = 1'-0"










01 AL-STUDIO DLX B
SCALE: 1/4" = 1'-0"

















MEMOIRY CARE COURTYARD PLANTING LEGEND

SYMBOL	DESCRIPTION		SIZE/ SPACING	QTY.	WUCOLS	HEIGHT	SPREAD
SHRUBS							
	AGAPANTHUS AFRICANIS	LILY OF THE NILE	1 GAL 18" O.C.	41	M	2'	2'
	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	5 GAL 30" O.C.	13	L	2'	2'
	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL 12" O.C.	67	M	1'	2'
	CLIVIA MINIATA (YELLOW)	YELLOW CLIVIA	5 GAL 18" O.C.	32	L	1.5'	2'
	CYCLAMEN PERSICUM (MIXED COLORS)	CYCLAMEN	4" POTS 10" O.C.	64	M	6"	6"
	ARBUTUS COMPACTA	DWARF STRAWBERRY TREE	5 GAL. 3' O.C.	9	L	6'	5'
	PELARGONIUM PELTATUM	IVY GERANIUM	4" POTS 12" O.C.	30	M	1'	2'
	FATSIA JAPONICA	JAPANESE ARALIA	5 GAL. 4' O.C.	2	M	6'	6'
	ROSA 'ICEBERG'	WHITE SHRUB ROSE	5 GAL 3' O.C.	3	M	4'	3'
TREES							
	HOWEA FORSTERIANA MULTI TRUNK	KENTIA PALM	14' BTH	2	M	60'	10'

TREES			SIZE	QTY.	WUCOLS	HEIGHT	SPREAD
	TIPUANA TIPU	TIPU TREE	36" BOX	8	L	20'	20'
	TRISTANIA CONFERTA	BRISBANE BOX	24" BOX	24	M	30'	25'
	SYAGRUS ROMANZOFFIANA-CLUSTER	QUEEN PALM	18' BTH	10	M	40'	20'
	CUPRESSUS SEMPERVIRENS	MEDITERRANEAN CYPRESS	15 GAL	12	L	40'	10'
	PROSOPIS CHILENSIS STD	CHILEAN MESQUITE	36" BOX	16	L	30'	30'
	CHITALPA TASHKENTENSIS STD	CHITALPA	24" BOX	3	L	20'	20'
	EXISTING STREET TREE			3			

ASSISTED LIVING COURTYARD PLANTING LEGEND

SYMBOL	DESCRIPTION		SIZE/ SPACING	QTY.	WUCOLS	HEIGHT	SPREAD
SHRUBS							
	ROSA 'ICEBERG'	WHITE SHRUB ROSE	5 GAL 3' O.C.	33	M	4'	3'
	FATSIA JAPONICA	JAPANESE ARALIA	5 GAL. 4' O.C.	2	M	6'	6'
	AUCUBA JAPONICA 'VARIEGATA'	JAPANESE AUCUBA	5 GAL 3' O.C.	8	M	6'	5'
	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL 18" O.C.	61	M	2'	2'
	FUCHSIA T. 'GARTENMEISTER'	GARTENMEISTER FUCHSIA	1 GAL. 3' O.C.	6	M	2'	2'
	AZALEA 'ALASKA WHITE'	ALASKA WHITE AZALEA	5 GAL. 3' O.C.	6	H	3'	4'
	RHAPHIOLEPIS UMBELLATA	YEDDA HAWTHORN	5 GAL 4' O.C.	11	M	4'	4'
	PHORMIUM TENAX 'PINK STRIPE'	PINK STRIPE NEW ZEALAND FLAX	5 GAL. 3' O.C.	31	L	4'	4'
	CUPHEA HYSSOPIFOLIA 'WHITE WHISPERS'	WHITE WHISPERS CUPHEA	1 GAL 18" O.C.	106	M	12"	18"
	PELARGONIUM PELTATUM	IVY GERANIUM	1 GAL. 18" O.C.	56	M	2'	3'
	AGAPANTHUS AFRICANIS	LILY OF THE NILE	1 GAL 18" O.C.	131	M	2'	2'
	GAURA LINDHEIMERI 'SISKIYOU PINK'	SISKIYOU PINK GAURA	5 GAL 2' O.C.	37	L	3'	3'
TREES							
	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY EASTERN RED BUD	36" BOX MULTI	3	M	20'	25'
	ARCHONTOPHOENIX ALEXANDRAE MULTI TRUNK	KING PALM	18' BTH	2	M	50'	10'
	MAGNOLIA STELLATA MULTI	STAR MOGNOLIA	36" BOX	1	M	15'	10'
	TUPIDANTHUS CALYPTRATUS	AUSTRALIAN UMBRELLA TREE	24" BOX	1	M	15'	15'

PLANTING LEGEND

SYMBOL	DESCRIPTION		SIZE/ SPACING	QTY.	WUCOLS	HEIGHT	SPREAD
SHRUBS							
	ROSA 'ICEBERG'	WHITE SHRUB ROSE	5 GAL 3' O.C.	122	M	4'	3'
	CUPHEA HYSSOPIFOLIA 'WHITE WHISPERS'	WHITE WHISPERS CUPHEA	1 GAL 18" O.C.	264	M	12"	18"
	AGAPANTHUS AFRICANIS	LILY OF THE NILE	1 GAL 18" O.C.	335	M	2'	2'
	WESTRINGIA FRUTICOSA 'SMOKEY'	COAST ROSEMARY	5 GAL 3' O.C.	114	L	4'	4'
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL 3' O.C.	141	L	1'	4'
	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL 3' O.C.	136	L	4'	4'
	DIANELLA REVOLUTA 'LIL REV'	LITTLE REV FLAX LILY	5 GAL. 2' O.C.	222	M	2'	2'
	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	5 GAL 3' O.C.	131	L	1'	5'
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL 18" O.C.	1330	L	2'	2'
	ALOE STRIATA	CORAL ALOE	1 GAL 18" O.C.	218	L	2'	2'
	COTONEASTER DAMMERI 'LOWFAST'	LOWFAST COTONEASTER	5 GAL 3' O.C.	24	L	1'	8'
	HEMEROCALLIS YELLOW	DAYLILY	1 GAL. 2' O.C.	76	M	2'	2'
	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GAL. 12" O.C.	288	L	1.5'	2'
	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOPSEED BUSH	5 GAL. 4' O.C.	89	L	5'	3'
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL. 2' O.C.	12	L	2'	2'
	DIETES BICOLOR	FORTNIGHT LILY	1 GAL. 18" O.C.	36	L	2'	2'
	SALVIA GREGGII	AUTUMN SAGE	5 GAL. 30" O.C.	85	L	3'	3'
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL 3' O.C.	53	L	3'	3'
	ARBUTUS COMPACTA	DWARF STRAWBERRY TREE	5 GAL. 3' O.C.	10	L	6'	5'
	SALVIA CLEVELANDII	BLUE SAGE	5 GAL. 4' O.C.	8	L	3'	3'
	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL. 4' O.C.	23	VL	10'	8'
	RHAPHIOLEPIS UMBELLATA	YEDDA HAWTHORN	5 GAL 4' O.C.	39	M	4'	4'
	PHORMIUM 'GOLDEN RAY'	GOLDEN RAY NEW ZEALAND FLAX	5 GAL. 3' O.C.	40	L	4'	4'
	GAURA LINDHEIMERI 'SISKIYOU PINK'	SISKIYOU PINK GAURA	5 GAL 2' O.C.	15	L	2'	2'
	COLEONEMA PULCHELLUM 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	5 GAL. @ 2' O.C.	137	M	2'	4'
	PHORMIUM TENAX 'PINK STRIPE'	PINK STRIPE NEW ZEALAND FLAX	5 GAL. 3' O.C.	40	L	3'	3'
	ABELIA X GRANDIFLORA 'ED GOUCHER'	PINK ABELIA	5 GAL 3' O.C.	27	M	3'	3'
	AGAPANTHUS 'TINKERBELL'	DWARF VARIEGATED AGAPANTHUS	5 GAL AT 12" O.C.	77	M	12"	15"
	BULBINE FRUTESCENS 'HALLMARK'	ORANGE STALKED BULBINE	5 GAL AT 2' O.C.	98	L	1'	1'
	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	5 GAL AT 3' O.C.	24	M	8'	5'
	ROSMARINUS 'IRENE'	ROSMARY IRENE	1 GAL AT 3' O.C.	18	L	1'	5'
	ANNUAL COLOR						
VINE							
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL.	22	M	2'	8'



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PLANTING LEGENDS
SHEET L1.1

PLOT DATE: 3/18/2020



ASSISTED LIVING COURTYARD CONCEPTUAL PLANT PALETTE



MEMORY CARE COURTYARD CONCEPTUAL PLANT PALETTE



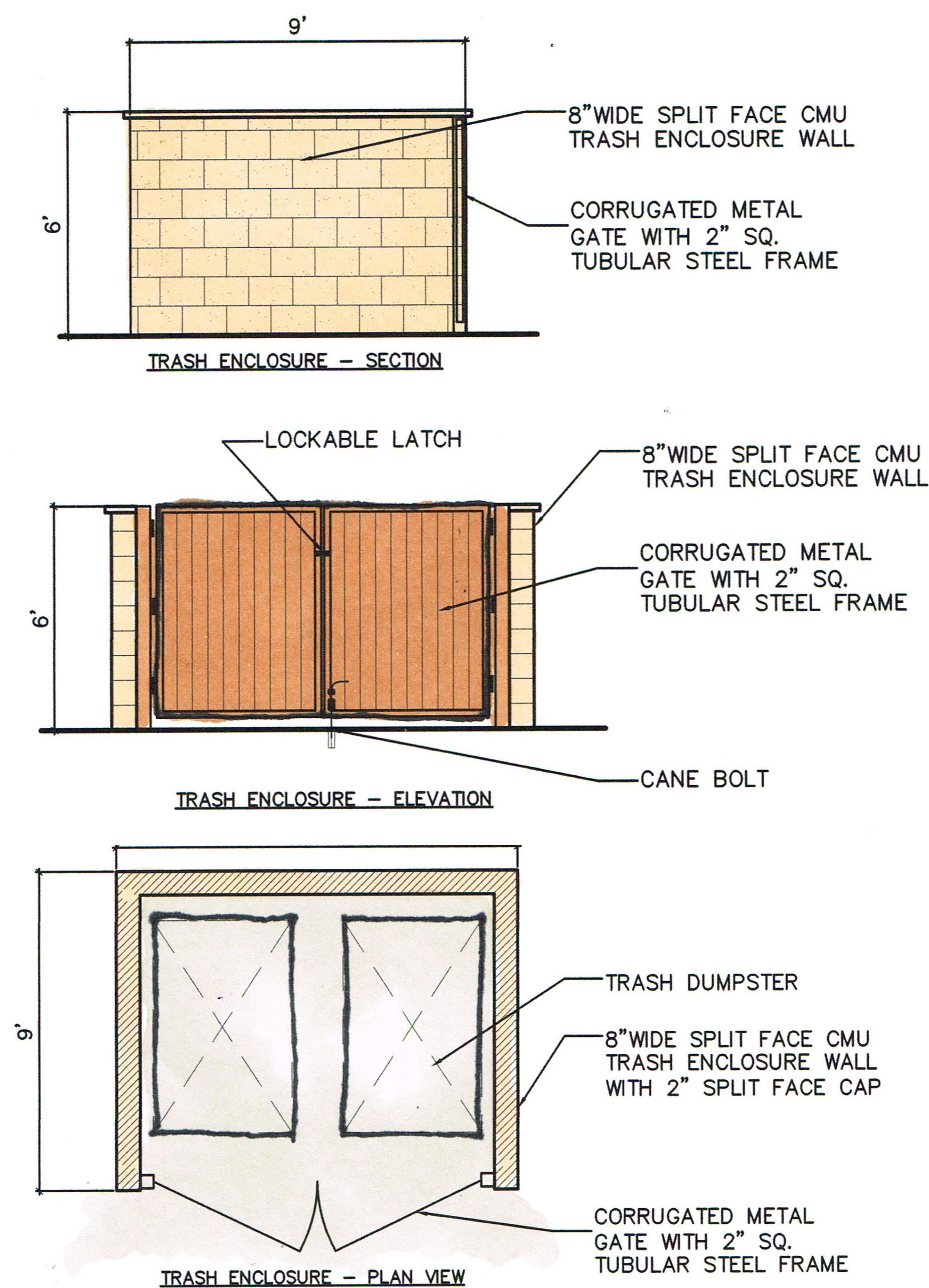
CONCEPTUAL PLANT PALETTE



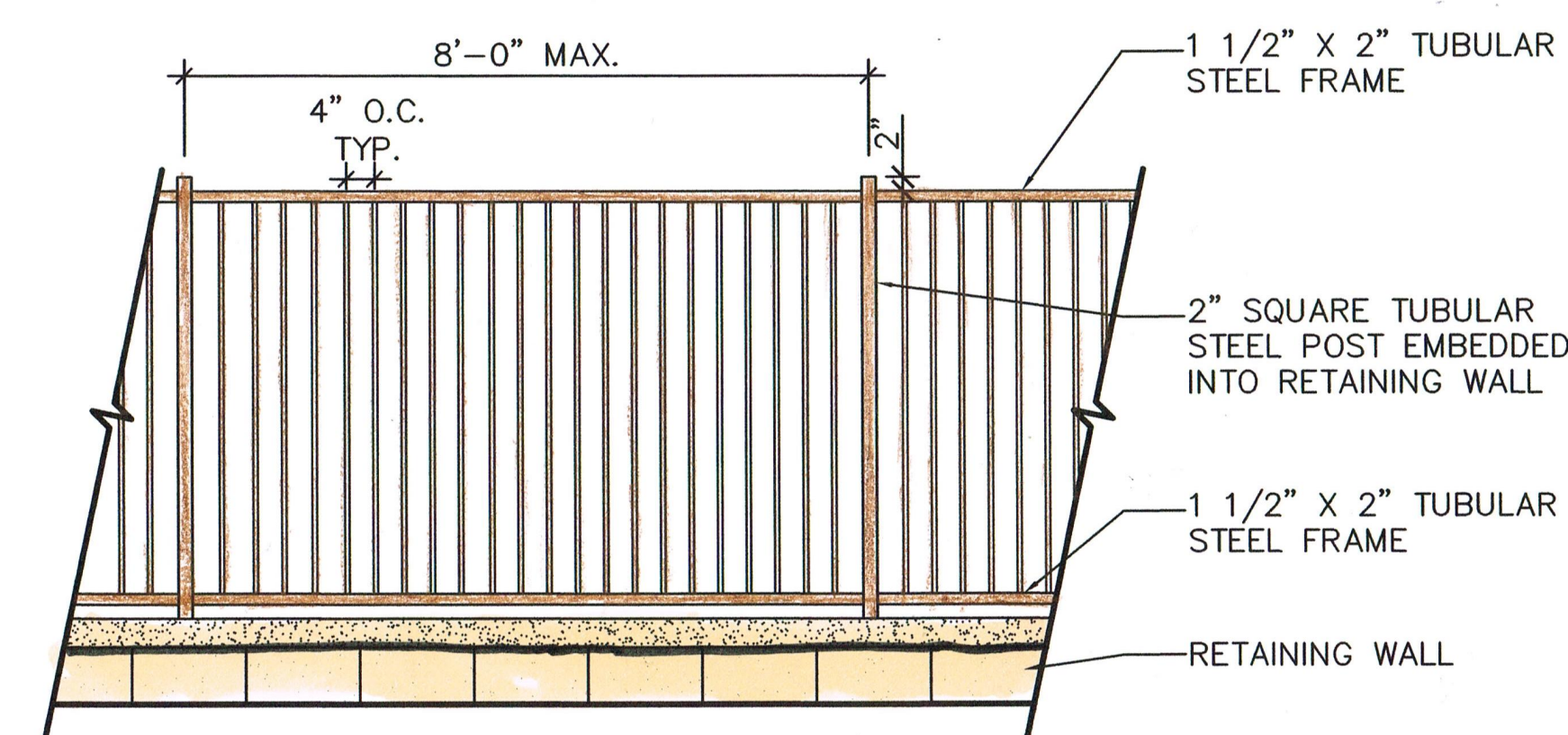
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PLANT PALETTE IMAGERY
SHEET L1.2

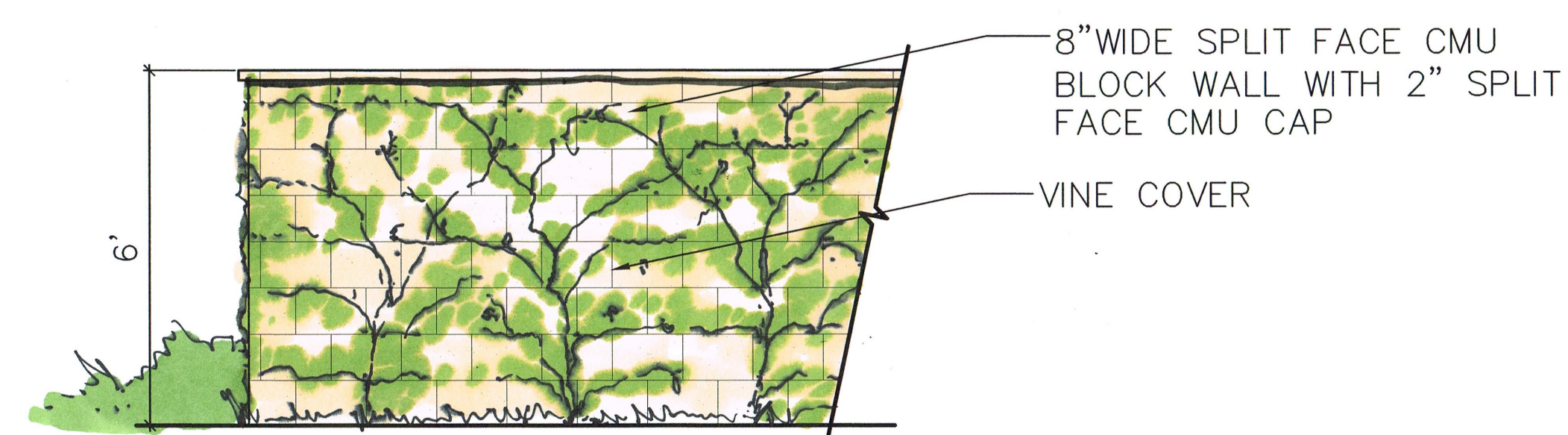
PLOT DATE: 3/18/2020



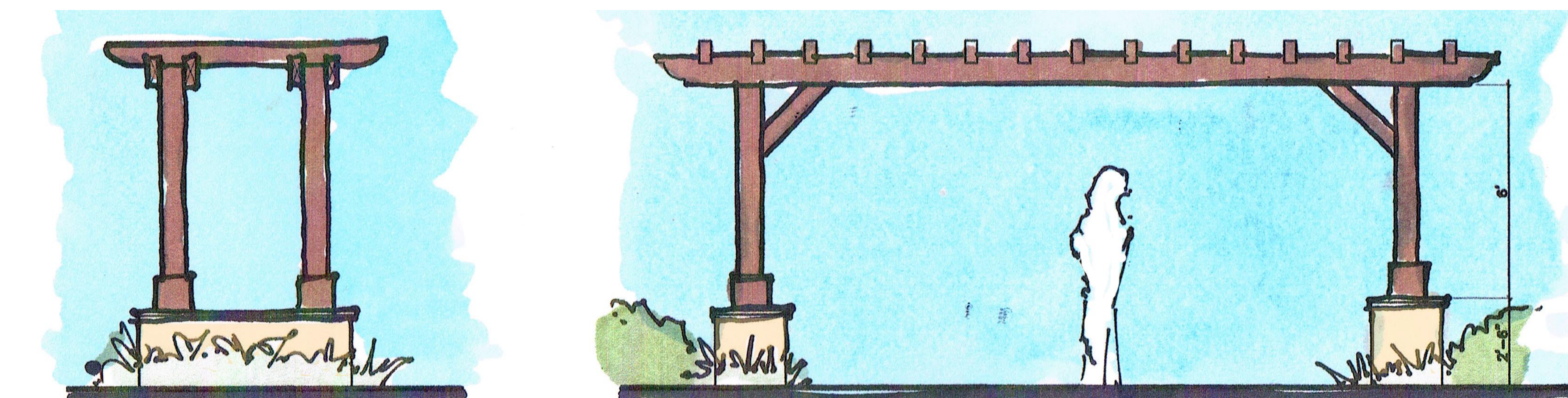
TRASH ENCLOSURE ELEVATIONS AND PLAN VIEW



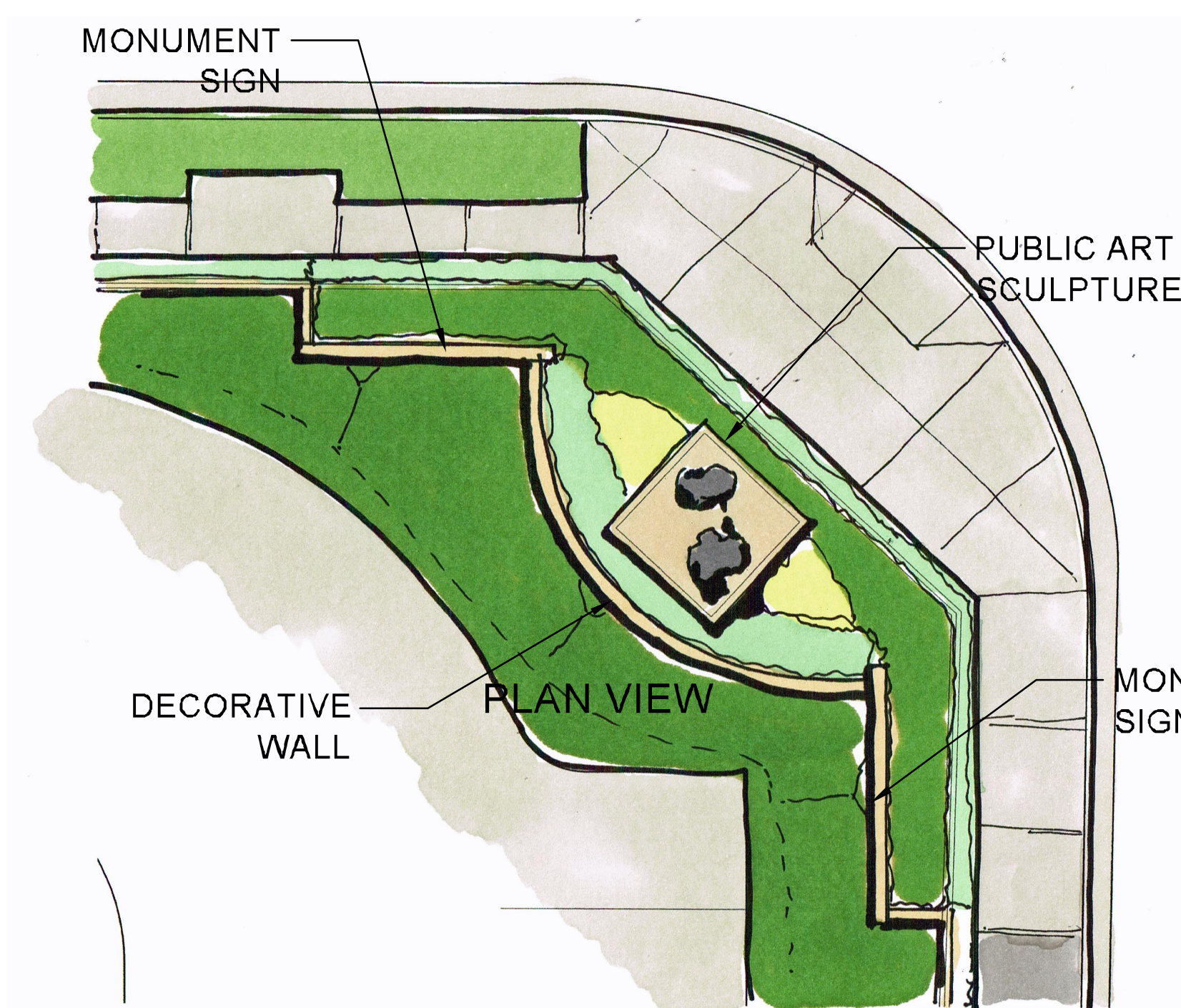
TUBULAR STEEL FENCE ELEVATION



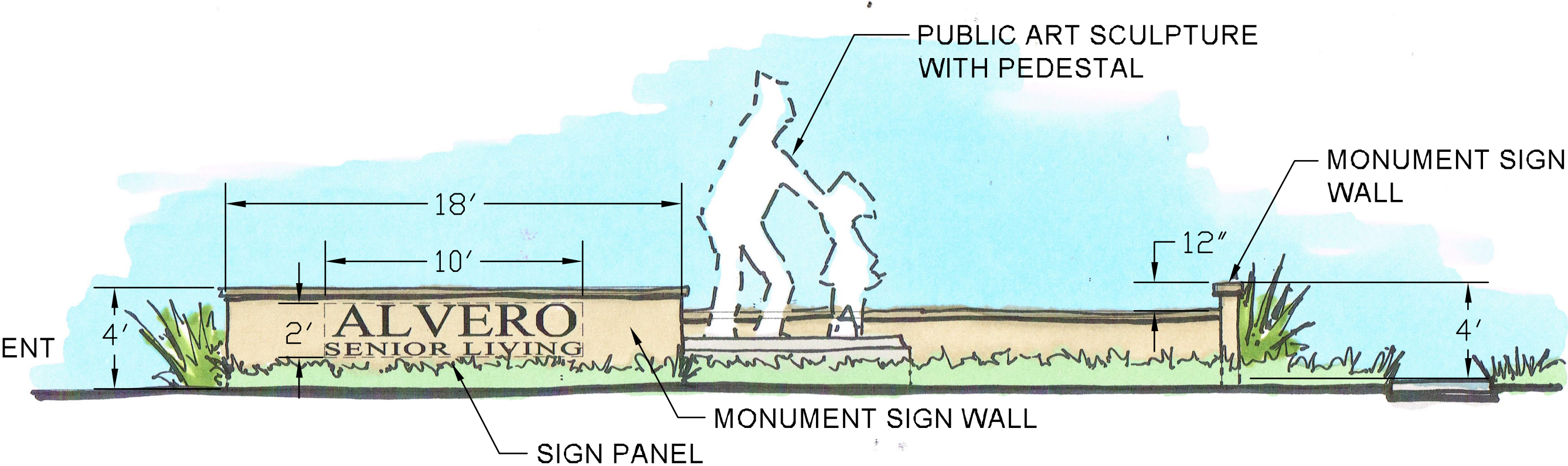
LOADING AREA SCREEN WALL WITH VINE COVER ELEVATION



ASSISTED LIVING COURTYARD TRELLIS



SIGN MONUMENT WITH PUBLIC ART ELEVATION AND PLAN VIEW

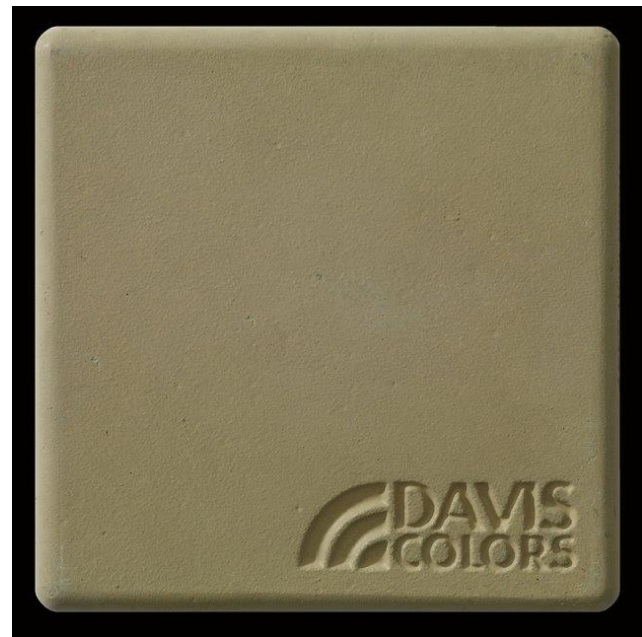


SIGNAGE CALCULATION:
 30 SF FOR STREET FRONTAGE AREA 125' LF
 PROJECT STREET FRONTAGE
 RANDOLPH 187 LF - SIGNAGE AREA ALLOWED 30 SF, PROVIDED 20 SF
 MADISON 393 LF - SIGNAGE AREA ALLOWED 30 SF, PROVIDED 20 SF

NOT TO SCALE



COURTYARD AND BUILDING ENTRY PAVING - INTEGRAL COLOR CONCRETE WITH MEDIUM BROOM FINISH - COLOR TO BE DAVIS MESA BUFF OR SIMILAR.



CONCRETE COLORS AND FINISHES

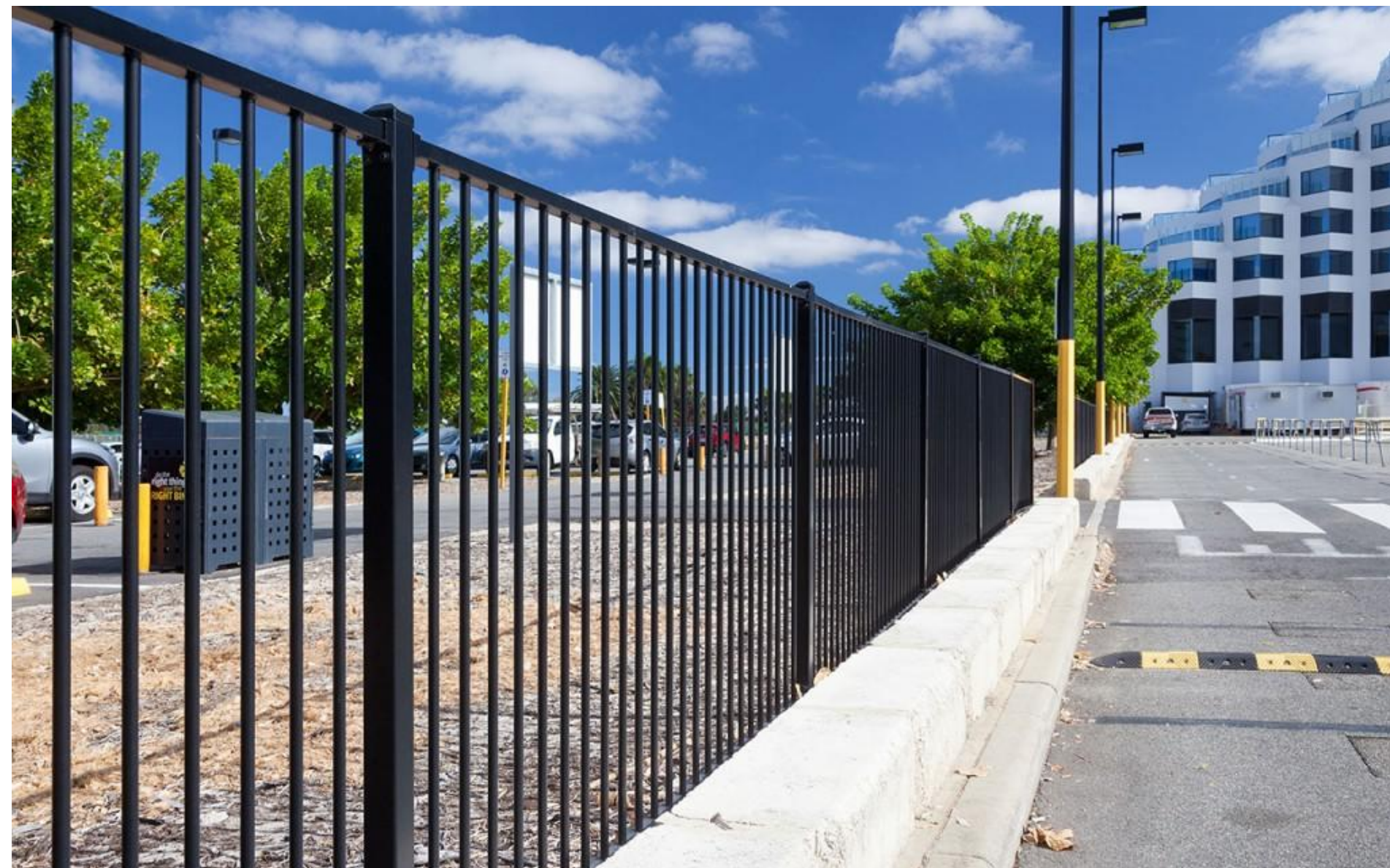


SPLIT FACE BLOCK WITH SPLIT FACE CAP- COLOR TO BE TAN- ORCO BLOCK OR SIMILAR

SITE WALL COLORS AND FINISHES



PERIMETER WALKWAY PAVING- NATURAL GRAY CONCRETE WITH MEIUM BROOM FINISH



TUBULAR STEEL FENCE AND GATE- COLOR TO BE BLACK

TUBULAR STEEL FENCE AND GATE

ADDITIONAL COLORS AND MATERIALS

1. ASSISTED LIVING COURTYARD TRELLIS- COLORS AND MATERIALS WILL BE SELECTED BASED ON FINAL ARCHITECTURE COLORS.
2. CORNER SIGN MONUMENT- COLORS AND MATERIALS WILL BE SELECTED BASED ON FINAL ARCHITECTURE COLORS.



CORRUGATED METAL - COLOR TO BE SHERWIN WILLIAMS SABLE (SW6083) OR SIMILAR

TRASH ENCLOSURE GATES



EXTERIOR LIGHTING - COLOR TO BE DARK BRONZE

EXTERIOR LANDSCAPE LIGHTING

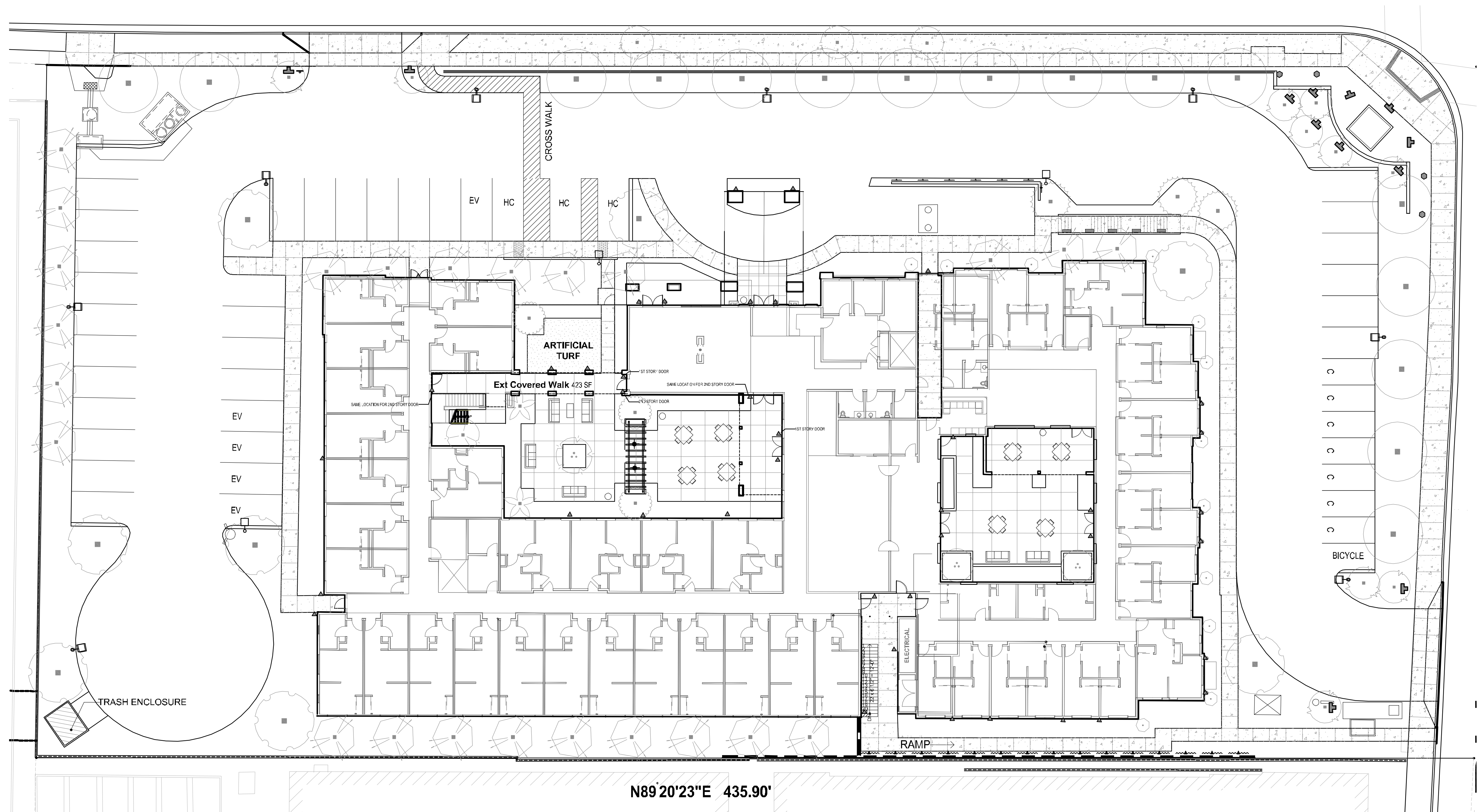
NOT TO SCALE



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LANDSCAPE COLORS AND MATERIALS SHEET L1.4

PLOT DATE: 3/18/2020



LIGHTING LEGEND					
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	V	QUANTITY
	SIGN LIGHT (LED)	DABMAR	DF-LED9410BZ - 16W LED -COLOR TO BE BRONZE	120V	4
	PALM LIGHT (LED)	KICHLER	16202A2T42 120V LED 19.5 W 10 DEG. SPOT 4200K- WITH RISER COLOR TO BE TEXTURED BRONZE	120V	14
	DOWN LIGHT (LED)	PROGRESS LIGHTING	P5674- 20/ 30K" - 17W LED - COLOR TO BE ANTIQUE BRONZE	120V	2
	WALL LIGHT (LED)	RAB	FSLED-HI-3-3000K/120 3W LED- COLOR TO BE BRONZE	120V	5
	ARCHITECTURE SCONE LIGHTING	REFER TO SHEET A3-A5			
	PARKING LOT AREA LIGHT	LSI INDUSTRIES	XDLS-5-LED H0-NW	120V	11

ALL LIGHT FIXTURES SHALL BE PHOTOCELL CONTROLLED

SCALE: 1/16"=1'-0" NORTH



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CONCEPTUAL LANDSCAPE LIGHTING PLAN

SHEET L1.5

PLOT DATE: 3/18/2020

1. ALL WORK SHALL COMPLY WITH CALIFORNIA CODE OF REGULATIONS 2019 TITLE 24, 2017 N.E.C., & 2019 C.E.C. AND LOCAL CODES. ELECTRICAL WORK SHALL COMPLY WITH CBC 2308 AND ALL EQUIPMENT AND SYSTEMS SHALL BE U.L. LISTED.
2. DRAWINGS ARE NECESSARILY DIAGRAMMATIC BY THEIR NATURE AND ARE NOT INTENDED TO SHOW EVERY CONNECTION IN DETAIL OR EVERY PIPE OR CONDUIT IN ITS EXACT LOCATION. CAREFULLY IDENTIFY THE STRUCTURAL AND FINISH CONDITIONS AND COORDINATE THE SEPARATE TRADES IN ORDER TO AVOID INTERFERENCE BETWEEN THE VARIOUS PHASES OF WORK. ORGANIZE AND LAYOUT WORK SO THAT IT WILL BE CONCEALED IN WALLS, FURRED CHASES, AND CEILINGS, ETC., IN FINISHED PORTIONS OF THE BUILDING, UNLESS SPECIFICALLY NOTED TO BE EXPOSED. INSTALL ALL WORK PARALLEL OR PERPENDICULAR TO BUILDING LINES UNLESS OTHERWISE NOTED.
3. INSTALL THE ELECTRICAL SYSTEM USING CONSTRUCTION MEANS, METHODS, AND MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS / INSTRUCTIONS, TRADE "BEST PRACTICES" STANDARDS, AND APPLICABLE NATIONAL AND LOCAL CODES.
4. PROVIDE ALL LABOR, MATERIALS, TOOLS, PERMITS, FEES, TRANSPORTATION, ETC REQUIRED TO PROVIDE A COMPLETE AND FULLY-FUNCTIONING ELECTRICAL SYSTEM TO THE OWNER'S SATISFACTION.
5. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE NEW AND SUPPLIED WITH ALL THE NECESSARY FITTINGS, ATTACHMENTS, AND ACCESSORIES FOR A COMPLETE INSTALLATION.
6. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL ELECTRICAL EQUIPMENT, ELECTRICAL MATERIALS AND LIGHTING FIXTURES FOR APPROVAL PRIOR TO ORDERING.
7. SWITCHGEAR DIMENSIONS ARE BASED ON THE APPROXIMATE DIMENSIONS OF THE MANUFACTURER SPECIFIED IN THE PLANS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EQUIPMENT WILL FIT IN THE ACTUAL SPACE PRIOR TO ORDERING THE EQUIPMENT.
8. CONTRACTOR SHALL REVIEW THE ELECTRICAL, AND OTHER CONSULTANTS DRAWINGS PRIOR TO STARTING ANY WORK AND INFORM THE ENGINEER OF ANY DISCREPANCIES, OMISSIONS, OR IF CLARIFICATIONS ARE REQUIRED TO COMPLETE THE INSTALLATION PRIOR TO COMMENCING THE WORK. CONTRACTOR, ENGINEER, ARCHITECT AND OWNER SHALL SCHEDULE A POST BID/PRECONSTRUCTION MEETING TO REVIEW AND DISCLOSE ALL DISCREPANCIES, OMISSIONS AND/OR CLARIFICATION RELATED TO THE CONSTRUCTION DOCUMENTS AND/OR SPECIFICATIONS NOTED BY CONTRACTOR AND OR/OWNER AS PART OF THE PRECONSTRUCTION COORDINATION PROCESS.
9. REFER AND REVIEW TO THE: PLUMBING, MECHANICAL/HVAC, LOW VOLTAGE, COMMUNICATION, ACCESS CONTROL, INTERIOR DESIGN, ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO, AND DURING, THE ELECTRICAL INSTALLATION TO ENSURE ALL ELECTRICAL EQUIPMENT AND ASSOCIATED DISTRIBUTION PATHWAY ARE CLEAR OF AND COORDINATED WITH THE OTHER TRADES INSTALLATION REQUIREMENTS.
10. ALL HORIZONTAL AND VERTICAL PIPING, CONDUITS, AND DUCTS INTROUGH ELEVATED OR ON GRADE SLABS SHALL BE INSTALLED PER THE MANUFACTURERS INSTALLATION MANUAL AND MEET THE CLEARANCES SHOWN ON DETAIL E-03 OR HAVE APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER OF RECORD. AVOID ANY HORIZONTAL/VERTICAL PIPING, CONDUITS AND DUCTS IN AREAS OF CONGESTED REINFORCEMENT SUCH AS COLUMNS, COLUMN CAPS AND COLUMN STIRRS.
11. PROVIDE ALL REQUIRED CONTROL WIRES, RELAYS, DISCONNECTS, STARTERS, CONDUITS, TIME SWITCHES, AND OUTLETS REQUIRED BY THE OTHER TRADES SYSTEMS AS INDICATED ON THEIR DRAWINGS. ALL ELECTRICAL WORK AND MATERIALS INDICATED IN THE ABOVE CONSULTANT'S (NOTE 8) DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR UNDER THIS SCOPE OF WORK.
12. ALL EQUIPMENT SHALL BE LISTED BY A RECOGNIZED TESTING AGENCY AND SUPPORTED ACCORDING TO APPLICABLE OSHA REQUIREMENTS.
13. CONTRACTOR TO WARRANTY ALL WORK COMPLETED FOR A PERIOD OF ONE YEAR AFTER THE OWNER'S ACCEPTANCE DATE. ANY LABOR OR MATERIALS REQUIRED TO CORRECT FAULTY OR DEFECTIVE WORK WITHIN THE WARRANTY PERIOD SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR. ANY WORKMANSHIP OR EQUIPMENT FOUND TO BE FAULTY OR DEFICIENT DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR.
14. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, "AS-BUILTS" CONSTRUCTION DRAWINGS, ETC., SHALL BE TURNED OVER TO THE OWNER WITHIN 30 DAYS OF THE COMPLETION OF THE JOB.
15. CONTRACTOR ELECTRICAL "AS-BUILTS DRAWINGS" ARE TO INDICATE THE FINAL EQUIPMENT/DEVICE LOCATIONS, CONDUIT ROUTING, PANEL SCHEDULES, SINGLE LINE DIAGRAMS, ETC. - IN CAD OR EQUIVALENT FORMAT FOR THE OWNER'S RECORD AT THE COMPLETION OF THE JOB.
16. PROVIDE THE OWNER WITH 1 COPY OF ALL OPERATION AND MAINTENANCE MANUALS FOR LIGHTING, LIGHTING CONTROL, AND ELECTRICAL SYSTEMS.
17. LABEL ELECTRICAL SERVICE EQUIPMENT WITH THE MAXIMUM AVAILABLE FAULT CURRENT AT THE INCOMING TERMINALS OF THE EQUIPMENT PER CEC 110.24.
18. PROPERLY LABEL ALL ELECTRICAL ROOMS / CABINETS, ELECTRICAL PANELS, TIME SWITCHES, PANEL SCHEDULES, AND MULTI-RANG METER WITH LAMINATED PLACARDS. ADDITIONALLY, PROVIDE ALL LABELING AND PLACARDS AT SPECIFIC LOCATIONS INDICATED IN THE CONTRACT DOCUMENTS.
19. CONTRACTOR SHALL VISIT THE SITE, VERIFY THE EXACT CONDITIONS RELATING TO THE WORK AND SHALL OBTAIN SUCH INFORMATION AS MAY BE NECESSARY TO PRESENT A CONCLUSIVE BID. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE, DUE TO FAILURE OF THE CONTRACTOR TO MAKE SUCH A FIELD VERIFICATION. BY SUBMITTING A PROPOSAL FOR THE WORK INCLUDED IN THE CONTRACT, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE THE FIELD VERIFICATION AND ACCEPTS ALL JOB SITE CONDITIONS.
20. FINAL LOCATIONS OF EQUIPMENT AND/OR DEVICES SHALL BE VERIFIED WITH THE OWNER/ARCHITECT PRIOR TO ROUGH-IN.
21. CONTRACTOR SHALL PROVIDE THE REQUIRED LABOR, MATERIAL, INSURANCE, EQUIPMENT, INSTALLATION PROCEDURES AND PRACTICES/ MEANS AND METHODS, CONSTRUCTION TOOLS AND STORAGE, TRANSPORTATION, ETC. FOR A COMPLETE AND PROPERLY OPERATING ELECTRICAL SYSTEM.
22. ALL MATERIALS SHALL BE NEW, AND OF THE SAME MANUFACTURER FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORIES, AND SHALL BEAR THE INSPECTION LABEL WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH THE APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY, AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY A.N.S.I., U.L., N.E.M.A. AND N.B.F.U. INSTALL PER MANUFACTURERS' RECOMMENDATIONS.
23. CONTRACTOR SHALL SECURE ANY PAY FOR ALL NECESSARY BUILDING PERMITS. CONTRACTOR SHALL COORDINATE TEMPORARY CONSTRUCTION REQUIREMENTS INCLUDING POWER, SECURITY, STORAGE, SAFETY, ETC. WITH ALL TRADES PRIOR TO COMMENCING CONSTRUCTION. INCLUDE ALL OF THESE COSTS IN THE BID.
24. ALL TRADE LABOR SHALL BE DISCIPLINE TRAINED, COMPETENT AND SKILLED PERSONNEL. PERFORM ALL WORK CONSISTENT WITH THE BEST POSSIBLE TRADE PRACTICES WITH ADHERENCE TO ALL OSHA GUIDELINES.
25. WHERE A CONFLICT OCCURS BETWEEN THIS SPECIFICATION AND OTHER SPECIFICATIONS ISSUED AS A PART OF THE CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
26. ALL ADDENDA AND CHANGE ORDERS MUST BE APPROVED BY THE OWNER IN ADVANCE OF STARTING THE WORK.

1. ALL EXTERIOR ELECTRICAL EQUIPMENT SHALL BE WEATHERPROOF (MIN. NEMA 3R).
2. ALL EXTERIOR JUNCTION BOXES SHALL BE LISTED AS WEATHERPROOF WITH WEATHERPROOF COVERS.
3. ALL LIGHTING SWITCHES SHALL BE RATED FOR 120-277V, "DECORA" STYLE, AND WHITE UNLESS OTHERWISE NOTED ON THE PLANS OR OWNER'S SPECIFICATIONS.
4. ALL GENERAL USE RECEPTACLES SHALL BE NEMA 5-15R, "DECORA" STYLE, AND WHITE UNLESS OTHERWISE NOTED ON THE PLANS OR OWNER'S SPECIFICATIONS.
5. ALL RECEPTACLES IN DWELLING UNITS, GUEST ROOMS AND GUEST SUITES IN HOTELS AND MOTELS, AND CHILD CARE FACILITIES SHALL BE TAMPER-RESISTANT TYPE (NEC 406.12).
6. PROVIDE COMBINATION A.F.C.I./G.F.C.I. TYPE BREAKERS FOR ALL CIRCUITS FEEDING OUTLETS AND LIGHTS IN DINING ROOM, KITCHEN, LIVING ROOM, ETC. PER SECTION 210.12.
7. ALL OUTDOOR RECEPTACLES SHALL BE GFCI PROTECTED AND LISTED AS "WR" WEATHER RESISTANT TYPE PER CEC 406.9. OUTDOOR RECEPTACLES IN DAMP LOCATIONS SHALL HAVE WEATHERPROOF COVERS. OUTDOOR RECEPTACLES IN WET LOCATIONS SHALL HAVE "IN-USE" TYPE WEATHERPROOF COVERS.
8. NO PLASTIC ELECTRICAL BOXES ARE TO BE USED.
9. IN RATED WALLS, ELECTRICAL OUTLET BOXES SHALL NOT EXCEED 16 SQUARE INCHES PER ONE HUNDRED SQUARE FEET OF WALL. THE OUTLET SHALL BE INSTALLED MINIMUM 24" HORIZONTAL SEPERATION DISTANCE ON OPPOSITE SIDES OF A WALL.
10. RECESSED ELECTRICAL PANELS IN RATED ASSEMBLIES SHALL BE "FIREBOXED" AND CERTIFIED TO MAINTAIN THE ORIGINAL RATING OF THE WALL ASSEMBLY.
11. HALF SIZE OR TANDEM CIRCUIT BREAKERS MAY BE USED ONLY IF THE ELECTRICAL EQUIPMENT IS SPECIFICALLY LISTED TO RECEIVE SUCH DEVICES. ALL OTHER PANEL LOCATIONS - FULL SIZE CIRCUIT BREAKER MUST BE USED.
12. ALL BRANCH CIRCUIT BREAKERS SHALL BE NQOD (OR APPROVED EQUAL) AND HAVE MIN 75" RATED TERMINATION LUGS.
13. ALL BRANCH CIRCUIT BREAKERS FEEDING DWELLING UNIT LIGHTING AND POWER RECEPTACLES SHALL BE LISTED "COMBINATION TYPE AFCI" AND INSTALLED AT THE ORIGIN OF THE BRANCH CIRCUIT [210.12(A)(1)]
14. ALL PENETRATIONS (ELECTRICAL BOXES, CABLES, CONDUITS AND ETC...) THROUGH RATED ASSEMBLIES SHALL BE SEALED OR FIRE STOPPED TO MAINTAIN THE RATING OF THE ASSEMBLY WITH A LISTED FIRE STOPPING SYSTEM (I.E. 3M FIRE BARRIER OR EQUAL) IN COMPLIANCE WITH CBC SECTION 712. CONTRACTOR TO INSTALL FIRE STOPPING SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
15. REFER TO ACOUSTICAL ANALYSIS / SPECIFICATIONS; PROVIDE PUTTY PADS OR OTHER SYSTEMS AS REQUIRED FOR SOUND ATTENUATION.
16. FOR DEVICES WITH SIMILAR FIRE BARRIER REQUIREMENTS, IF THE DENSITY OF OUTLET OPENINGS EXCEEDS 100 SQ. IN. FOR ANY 100 SQ.FT. OF WALL, THEN PUTTY PADS ARE REQUIRED FOR THE ENTIRE WALL.
17. PROVIDE EXPANSION AND DEFLECTION FITTINGS, WITH BONDING JUMPERS AT ALL BUILDING EXPANSION OR SEISMIC JOINT CROSSING.
18. WIRING SIZE PER CIRCUIT BREAKER TRIP SETTING AND NEC TABLE 310-16. ALL CONDUCTORS ARE MINIMUM #12 THHN/THWN-CU UNLESS OTHERWISE NOTED. MINIMUM 3/4" CONDUIT FOR PVC UNDERGROUND CONDUIT.
19. ALL WIRING TO COMPLY WITH CEC ARTICLE 300. CONDUCTORS SHALL BE INSTALLED IN CODE APPROVED RACEWAYS AS REQUIRED.
20. INTERIOR WIRING PERMITTED TO BE TYPE NM CABLE IN ACCORDANCE WITH CEC ARTICLE 334 AND LOCAL CODES IN ONE- AND TWO- FAMILY AND MULTIFAMILY DWELLINGS OF TYPE III, IV, AND V CONSTRUCTION. IN OTHER TYPES OF TYPE III, IV, AND V CONSTRUCTION NM CABLE **MAY BE ACCEPTABLE**, EXCEPT FOR EXPOSED IN ACCESSIBLE DROPPED CEILINGS, EXPOSED CEILINGS OR WHERE PROHIBITED IN CEC 334.12. CONTRACTOR TO VERIFY NM CABLE WIRING METHOD WITH AUTHORITY HAVING JURISDICTION PRIOR TO BIDDING THE JOB. MINIMUM WIRING SIZE PER THE 60 DEGREE "C" COLUMN OF CEC TABLE 310.15(B)(16) (I.E. #12 CU FOR 20A CIRCUIT BREAKERS).
21. IT IS PROHIBITED TO SHARE NEUTRAL CONDUCTORS FOR THREE SINGLE PHASE CIRCUITS PER CEC 200.4.
22. AS REQUIRED, ALL OVERSIZED FEEDERS THAT WERE ADJUSTED IN SIZE TO COMPENSATE FOR VOLTAGE DROP SHALL BE PROVIDED WITH ADAPTER LUGS OR SPLICE BOX. ADAPTER LUGS SHALL BE PROVIDED IF SIZE IS AVAILABLE, OTHERWISE PROVIDE CABLE SPLICES IN THE SPLICE BOX TO REDUCE CABLES TO THE MAXIMUM SIZE THAT THE BREAKER LUGS CAN ACCOMMODATE.
23. CLASS 2 & 3 WIRING:
CABLES INSTALLED IN PLENUMS SHALL BE TYPE CL2P OR CL3P (CLASS 2 OR 3 RESPECTIVELY). CABLES INSTALLED AS RISERS (CABLES INSTALLED IN VERTICAL RUNS AND PENETRATING MORE THAN ONE FLOOR, OR CABLES INSTALLED IN VERTICAL RUNS IN A SHAFT) SHALL BE TYPE CL2R OR CL3R (CLASS 2 OR 3 RESPECTIVELY). CABLES INSTALLED IN CABLE TRAYS MAY BE TYPE PLTC, CL3P, CL3R, CL3, CL2P, CL2R, OR CL2.
24. WHERE MORE THAN TWO NM CABLES ARE INSTALLED THROUGH WOOD FRAMING, SUCH AS TOP OR BOTTOM PLATES WHERE THE OPENING IS SEALED WITH INSULATION OR SEALING (FIRE RATED) FOAM, ETC., THE ALLOWABLE AMPACITY OF EACH CONDUCTOR SHALL BE ADJUSTED IN ACCORDANCE WITH TABLE 310.15. REVIEW CEC 334.80.
25. ALL CABLE TRAYS CONTAINING TYPE SE, MC, MI, OR IGS SERVICE ENTRANCE CABLES MUST BE LABELED "CABLE TRAY CONTAINS SERVICE ENTRANCE CONDUCTORS".
26. ALL ELECTRICAL CONDUCTORS WITHIN 6' OF THE ATTIC MUST BE PROTECTED AS PER CEC 320.23A, 330.23, 334.23
27. ALL ELECTRICAL EQUIPMENT, BREAKERS, HOUSE PANELS, AND TIME SWITCHES DIRECTORIES SHALL BE PROPERLY TYPED LABELED.

1. THE ELECTRICAL SYSTEM SHALL BE GROUNDED AND BONDED IN ACCORDANCE WITH NEC ART. 250 AS ADOPTED AND AMENDED BY THE CEC AND THE ADOPTED EDITION OF THE N.E.C. AS IT RELATES TO OTHER APPLICABLE CODES.
2. SEPARATELY DERIVED SYSTEMS SHALL BE GROUNDED PER ART. 250.30 (A) FOR GROUNDED SYSTEMS OR 250.30(B) FOR UNGROUNDED SYSTEMS AND SHALL COMPLY WITH ARTS. 250.20, 250.21, 250.22, AND 250.26.
3. THE MAXIMUM RESISTANCE TO GROUND SHALL NOT EXCEED 5 OHMS TO GROUND.
4. CONTRACTOR SHALL PROVIDE ALL INSTRUMENTATION AND TESTS FOR MEASURING THE

LIGHTING SYMBOL LIST	
	LIGHT (SURFACE MOUNT)
	LIGHT (SURFACE MOUNT) WITH 90 MINUTES BATTERY PACK
	LIGHT (RECESS MOUNT)
	LIGHT (RECESS MOUNT) WITH 90 MINUTES BATTERY PACK
	LIGHT (WALL MOUNT)
	PENDANT LED LIGHT
	UNDER CABINET LINEAR LIGHT FIXTURE
	1' X 4' LIGHT
	1' X 4' LIGHT WITH 90 MINUTES BATTERY PACK
	TRACK LIGHT
	EMERGENCY LIGHT(BUG EYE)
	EXIT SIGN (CEILING MOUNTED)
	EXIT SIGN (WALL MOUNTED)
NOTE: VERIFY ALL LIGHT FIXTURES WITH OWNER/ ARCHITECT PRIOR TO BID. LIGHTS AND PANEL SHALL NOT BE RECESSED IN FIRE RATED ASSEMBLIES UNLESS BOXED WITH EQUIVALENT CONSTRUCTION.	

SITE LIGHTING SYMBOL LIST	
	POLE LIGHT
	POST LIGHT
	BOLLARD LIGHT
	UPLIGHT LIGHT
	TREE LIGHT

SWITCH SYMBOL LIST	
	SINGLE POLE, ab = CONTROL ZONES a & b
	3-WAY
	4-WAY
	DIMMER SWITCH
	OCCUPANCY SENSOR(WALL)
	PUSH-BUTTON SWITCH
	DOOR BELL CHIME
	TELEPHONE OUTLET
	DATA OUTLET
	COMBINATION TELEPHONE AND DATA OUTLET BOX WALL
	TELEVISION OUTLET
	DAY LIGHT SENSOR(CEILING)
	OCCUPANCY SENSOR(CEILING)
	POWER PACK
NOTE: LIGHT SWITCHES AND CONTROLS, WALL MOUNTED AT +48" AFF (MAX) ALL WALL SWITCHES CONTROLLING EMERGENCY CIRCUITS SHALL BE ENGRAVED WITH "EMERGENCY" ON RED FACE PLATE	

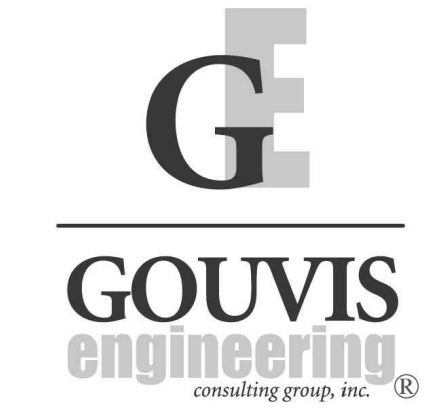
OUTLETS SYMBOL LIST	
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	SPECIAL RECEPTACLE
	DUPLEX USB
	GFCI DUPLEX RECEPTACLE
	GFCI DUPLEX RECEPTACLE WITH WEATHERPROOF COVER
	DUPLEX RECEPTACLE, BOTTOM HALF SWITCHED
	DUPLEX CEILING RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	QUAD FLOOR RECEPTACLE
	DUPLEX ABOVE COUNTER
	CONTROLLER ABOVE COUNTER
	DUPLEX W/USB (TYP. ABOVE COUNTER)
	CONTROLLER W/USB (TYP. ABOVE COUNTER)
NOTE: ALL WALL MOUNTED RECEPTACLE SHALL BE +18" AFF U.O.N. ALL WALL COUNTER MOUNTED RECEPTACLE SHALL BE GFCI AND 6" ABOVE SPLASH. COORDINATE WITH ARCHITECTURAL DRAWINGS.	

MECHANICAL SYMBOL LIST	
	FUSED DISCONNECT SWITCH
	NON-FUSED DISCONNECT SWITCH
	THERMALLY RATED 2P MOTOR SWITCH
	MANUAL MOTOR RATED SWITCH
	CONDENSING UNIT (CU) OR HEAT PUMP (HP)
	FORCED AIR UNIT (FAU) OR FAN COIL UNIT (FC)
	EXHAUST FAN (EF)
	SMOKE DUCT DETECTOR (SDD)
NOTE: ALL A.I.C. RATINGS OF ELECTRICAL DISTRIBUTION EQUIPMENT SHALL BE VERIFIED WITH LOCAL UTILITY COMPANY HAVING JURISDICTION PRIOR TO BID.	

MISC SYMBOL LIST	
	SMOKE DETECTOR
	SMOKE DETECTOR AND CARBON MONOXIDE COMBO
	KEYED NOTE SYMBOL
	LIGHT MARK
	PANEL
	JUNCTION BOX (WALL MOUNTED)
	J-BOX (CEILING MOUNTED)
NOTE: ALL A.I.C.RATINGS OF ELECTRICAL DISTRIBUTION EQUIPMENT SHALL BE VERIFIED WITH LOCAL UTILITY COMPANY HAVING JURISDICTION PRIOR TO BID.	

SINGLE LINE DIAGRAM	
	CIRCUIT BREAKER
	DRAWOUT CIRCUIT BREAKER
	FUSED SWITCH
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH
	GENERATOR
	PANELBOARD
	METER
	CURRENT TRANSFORMER
	MOTOR OR EQUIPMENT AS NOTED
	UNDERGROUND PULL FULL SECTION LANDING LUGS
	SHUNT TRIP
	ELECTRONIC TRIP UNIT: L - LONG-TIME TRIP S - SHORT-TIME TRIP I - INSTANTANEOUS TRIP G - GROUND-FAULT TRIP, GROUND FAULT SENSING INTEGRAL WITH CIRCUIT BREAKER.
	FUSE CUTOUT
	DRY TYPE TRANSFORMER
	WYE CONFIGURATION
	DELTA CONFIGURATION
	GROUND
	UTILITY COMPANY METER, PROVIDE CTS & PTS AS REQUIRED. REFER TO SINGLE LINE DIAGRAM.
	CURRENT LIMITER
	DISCONNECT SWITCH FURNISHED W/ EQUIPMENT
	START-STOP CONTROL STATION
	HAND-OFF AUTO CONTROL STATION
	GROUND FAULT RELAY
	GROUND FAULT PROTECTION

CONSTRUCTION - GENERAL					
ABS	ABOVE BACKSPLASH	IG	ISOLATED GROUND	T	TRANSFORMER
ADA	AMERICAN WITH DISABILITY ACT	IN OR "	INCHES	TC	TIME CLOCK
AFF	ABOVE FINISHED FLOOR	INCAO	INCANDESCENT	TELC	TELEPHONE CABINET
AFG	ABOVE FINISHED GROUND			TEL	TELEPHONE
AFCI	ARC FAULT CIRCUIT INTERRUPTER	JB/UBOX	JUNCTION BOX	TELCOM	TELECOMMUNICATIONS
AIC	AMPERE INTERRUPTING CAPACITY			TELEDATA	TELEPHONE & DATA
AFIAT	AMP FRAME, AMP TRIP	K	DEGREE KELVIN	TV	TELEVISION
ANN	FIRE ALARM ANNUNCIATOR PANEL	KVA	KILOVOLT AMPERES	TP	TAMPER PROOF
ASIAF	AMP SWITCH, AMP FUSE	KW	KILOWATT	TYP	TYPICAL
AMP, A	AMPERE	KCML	THOUSAND CIRCULAR MILS	TSP	TWISTED SHIELDED PAIR
ARCH	ARCHITECTURAL				
ASYM	ASYMMETRICAL	LC	LIGHTING CONTACTOR	UBP	UTILITY BRANCH PANEL
ATS	AUTOMATIC TRANSFER SWITCH	LCL	LINE CONTINUOUS LOAD	UG	UNDERGROUND
AV	AUDIO VISUAL	LCP	LIGHTING CONTROL PANEL	UGPS	UNDERGROUND PULL SECTION
AWG	AMERICAN WIRE GAUGE	LF	LINEAR FEET	UON	UNLESS OTHERWISE NOTED
		LPS	LOW PRESSURE SODIUM	UPS	UNINTERRUPTIBLE POWER SUPPLY
BATT	BATTERY	LT	LIGHTING TRANSFORMER	UT	UTILITY POWER TRANSFORMER
BC	BARE COPPER	LTGLTS	LIGHTING	UTP	UNSHIELDED TWISTED PAIR
BCG	BARE COPPER GROUND	LSI	LONG TIME, SHORT TIME, INSTANTANOUS		
BKR	BREAKER	LSIG	LONG TIME, SHORT TIME, INSTANTANOUS, GROUND	V	VOLTS
BLDG	BUILDING			VA	VOLTS AMPETERS
BOT	BOTTOM OF TRAY	M	METER	VD	VOLTAGE DROP
		MAX	MAXIMUM	VFD	VARIABLE FREQUENCY DRIVE
C	CONDUIT	MCA	MINIMUM CIRCUIT AMPACITY		
"C	CELSIUS	MCS	MAIN CIRCUIT BREAKER	W	WIRE
CAB	CABINET	MCC	MOTOR CONTROL CENTER	WP	WEATHERPROOF
CB	CIRCUIT BREAKER	MFR	MANUFACTURER		
CKT	CIRCUIT	MH	MOUNTING HEIGHT	XFMR	TRANSFORMER
CLCB	CURRENT LIMITING CIRCUIT BREAKER	MH	METAL HALIDE	XFR	TRANSFER
CLF	CURRENT LIMITING FUSE	MLO	MAIN LUGS ONLY		
CLG	CEILING	MOCP	MAXIMUM OVERCURRENT PROTECTION	Y	WYE CONNECTION
CMGC	CONSTRUCTION MANAGER/GENERAL CONTRACTOR	MTD	MOUNTED		
C.O	CONDUIT ONLY, COMPLETE WITH PULL WIRE	MS	MAIN SWITCHBOARD		
COMM	COMMUNICATIONS	MV	MERCURY VAPOR		
CONN	CONNECTED	MW	MICROWAVE		
CONST	CONSTRUCTION				
CONT	CONTINUATION	N	NEUTRAL		
CPT	CONTROL POWER TRANSFORMER	NC	NORMALLY CLOSED		
CT	CURRENT TRANSFORMER	NEC	NATIONAL ELECTRICAL CODE		
CPT	CLEAN POWER TRANSFORMER	NF	NON-FUSED		
		NIC	NOT IN CONTRACT		
Δ	DELTA CONNECTED	NL	NIGHT LIGHT		
DB	DISTRIBUTION BOARD	NO	NORMALLY OPEN		
DIA	DIAMETER	NO, OR #	NUMBER		
DISC SW	DISCONNECT SWITCH				
DIST	DISTRIBUTION	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED		
DEG	DEGREE				
DP	DISTRIBUTION PANELBOARD	P	POLE		
DT	DIRTY POWER TRANSFORMER	PA	PUBLIC ADDRESS		
DWG	DRAWING	PB	PULL BOX		
DW	DISH WASHER	PC	PHOTOCELL		
		PH OR #	PHASE		
EF	EXHAUST FAN	PL	POLE		
EG	EQUIPMENT GROUND	PR	PAIR		
(E)	EXISTING	PRI	PRIMARY		
EL	ELEVATION	PRIMARY	OVER 600 VOLTS		
ELEC	ELECTRICAL	PROVIDE	FURNISH, INSTALL, AND CONNECT		
ELEV	ELEVATOR	PT	POTENTIAL TRANSFORMER		
EMER	EMERGENCY	PWR	POWER		
EMS	ENERGY MANAGEMENT SYSTEM				
EMT	ELECTRICAL METALLIC TUBING	QTY	QUANTITY		
ENT	ELECTRICAL NON-METALLIC TUBING				
E.O.L.	END-OF-LINE CIRCUIT TERMINATOR	RECPT, REC	RECEPTACLE		
EP	EXPLOSION PROOF	REF	REFRIGERATOR		
EQPT	EQUIPMENT	REQD	REQUIRED		
EWG	ELECTRIC WATER COOLER	RGS	RIGID GALVANIZED STEEL		
EXIST	EXISTING	RM	ROOM		
		RP	REC BUILDING PANEL		
FA	FIRE ALARM	ROIC	RESIDENT OFFICER IN CHARGE OF CONSTRUCTION		
FACP	FIRE ALARM CONTROL PANEL				
FATC	FIRE ALARM TERMINATION CABINET	SBG	STANDBY GENERATOR		
FDR	FEEDER	SDPB	STANDBY DISTRIBUTION PANELBOARD		
FIXT	FIXTURE	SEC	SECURITY		
FLA	FULL LOAD AMPS	SECONDARY	600 VOLTS AND LESS		
FLR	FLOOR	SECT	SECTION		
FLOUR	FLUORESCENT	SF/SQFT	SQUARE FOOT		
FT OR "	FEET	SN	SOLID NEUTRAL		
FP	FIRE PUMP	SPEC	SPECIFICATION		
		SP	SUMP PUMP		
G/GND	GROUND	SQ	SQUARE		
GEF	GARAGE EXHAUST FAN	SSG	SECONDARY SWITCHGEAR		
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	ST	SHUNT TRIP		
GFP	GROUND FAULT PROTECTION	SURF	SURFACE		
		SW	SWITCH		
H	HOT (UNSWITCHED)	SYM	SYMMETRICAL		
HID	HIGH INTENSITY DISCHARGE	SYS	SYSTEMS		
HOA	HAND OFF AUTO				
HP	HORSE POWER				
HPS	HIGH PRESSURE SODIUM				
HTR	HEATER				
HVAC	HEATING, VENTILATION, & AIR CONDITIONING				
H.W.D.L.	HEIGHT, WIDTH, DEPTH, LENGTH				



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Palm Springs
tel 760.323.090



DATE SIGNED: 3/12/20

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PROJECT:
Brea assisted living

NOT FOR BID OR CONSTRUCTION
DEVELOPER:

ARCHITECT:

LOCATION:

REVISIONS		
NO.	DATE	DESCRIPTION

SHEET NAME:
ABBREVIATIONS & SYMBOLS LIST

PROJECT NUMBER:
65396

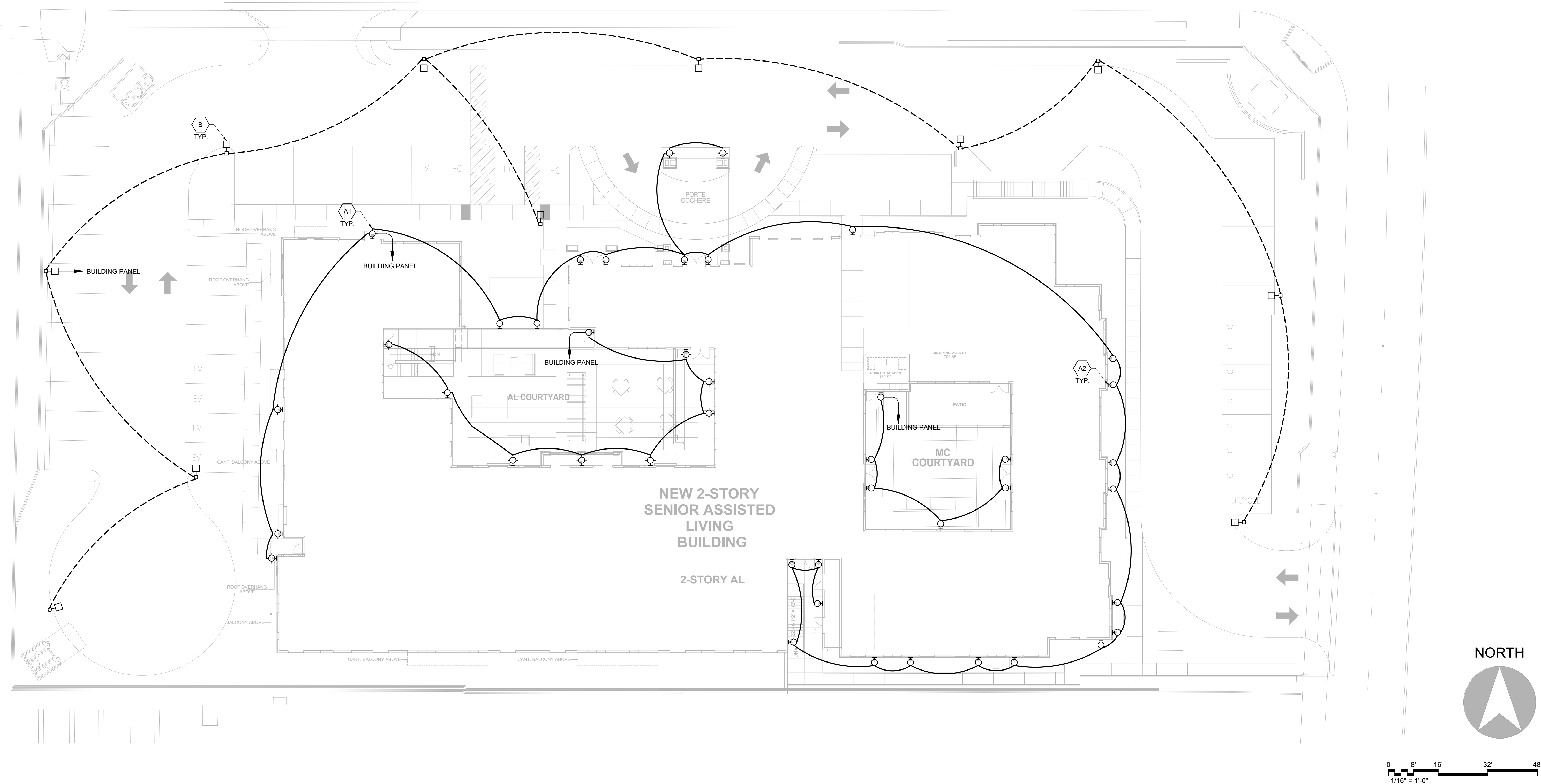
ENGINEER:
DRAFTER:


SHEET NUMBER:

E-0.2

LIGHTING LUMINAIRE SCHEDULE								
NOTES: VERIFY WITH OWNER OR ARCHITECT BEFORE PURCHASING THE LIGHTING FIXTURES.								
MARK	LEGEND	VOLT	MOUNT	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPS	INPUT WATTS
A1		120	WALL	EXTERIOR WALL LIGHT	WAC LIGHTING	WS-W5411-BK B111213	LED	10.7W
A2		120	WALL	EXTERIOR WALL LIGHT	WAC LIGHTING	WS-W5416-BK B111213	LED	10.7W
B		120	POLE	POLE LIGHT	LSI INDUSTRIES INC.	XDLS-5-LED HO-NW	LED	104.2W

KEYED NOTES	
1	COORDINATE WITH OWNER OR ARCHITECT FOR EXACT COLOR, AND FINISH






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PROJECT:
Brea assisted living

NOT FOR BID OR CONSTRUCTION
DEVELOPER:

ARCHITECT:

LOCATION:




REVISIONS		
NO.	DATE	DESCRIPTION

SHEET NAME:
SITE LIGHTING PLAN

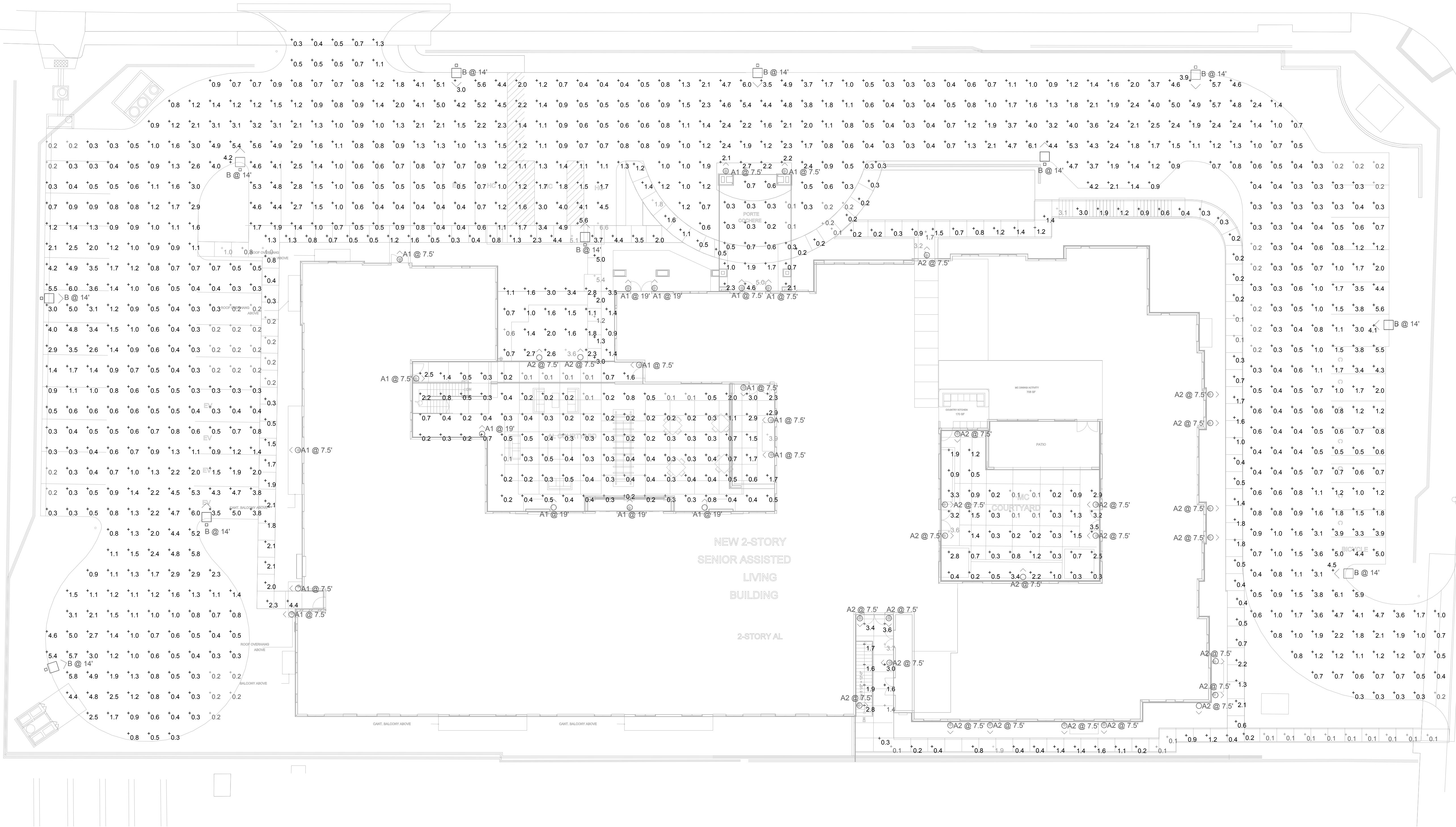
PROJECT NUMBER:
65396

ENGINEER:
DRAFTER:

SHEET NUMBER:
E-1.1

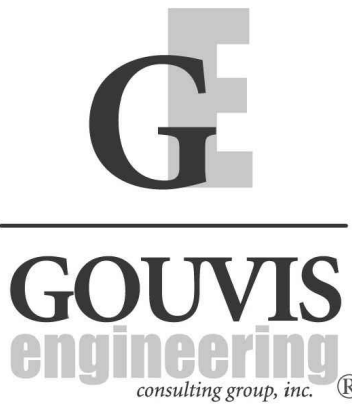
Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A1	19	WAC Lighting	WS-W5411-BK B111213	EXTERIOR WALL LIGHT	LED	1	WS-W5411-BK.IES	528	1	10.7
	A2	24	WAC Lighting	WS-W5416-BK B111213	EXTERIOR WALL LIGHT	LED	1	WS-W5416-BK.IES	526	1	10.7
	B	11	LSI INDUSTRIES, INC	XDLS-5-LED-HO-NW	POLE LIGHTING	LED	1	XDLS-5-LED-HO-NW.IES	7780	1	104.2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AL Courtyard	+	0.6 fc	3.9 fc	0.1 fc	39.0:1	6.0:1
DriveWay	+	1.5 fc	6.6 fc	0.2 fc	33.0:1	7.5:1
MC Courtyard	+	1.2 fc	3.6 fc	0.1 fc	36.0:1	12.0:1
Porte Cochere	+	1.1 fc	5.0 fc	0.1 fc	50.0:1	11.0:1
Stair	+	2.5 fc	3.7 fc	1.4 fc	2.6:1	1.8:1
Walkway 1	+	1.6 fc	5.1 fc	0.2 fc	25.5:1	8.0:1
Walkway 2	+	0.9 fc	1.0 fc	0.8 fc	1.3:1	1.1:1
Walkway 3	+	1.8 fc	3.6 fc	0.6 fc	6.0:1	3.0:1
Walkway 3	+	3.0 fc	5.4 fc	1.2 fc	4.5:1	2.5:1
Walkway 4	+	0.7 fc	1.8 fc	0.1 fc	18.0:1	7.0:1
Walkway 5	+	2.5 fc	3.2 fc	1.7 fc	1.9:1	1.5:1
Walkway 6	+	0.8 fc	3.1 fc	0.1 fc	31.0:1	8.0:1
Walkway 7	+	0.7 fc	1.9 fc	0.1 fc	19.0:1	7.0:1



PHOTOMETRIC SITE PLAN

1



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DATE SIGNED: 3/12/20

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PROJECT:
Brea assisted living

NOT FOR BID OR CONSTRUCTION
DEVELOPER:

ARCHITECT:

LOCATION:

REVISIONS		
NO.	DATE	DESCRIPTION

SHEET NAME:
PHOTOMETRIC SITE PLAN

PROJECT NUMBER:
65396

ENGINEER:
DRAFTER:

SHEET NUMBER:
E-1.2

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Brea assisted living

DEVELOPER:

LOCATION:

SHEET NAME:
LIGHTING SPECIFICATION

Г 1 2

1

City of Brea

PLANNING COMMISSION COMMUNICATION

TO: Honorable Chair and Planning Commission

DATE: 05/26/2020

SUBJECT: UPDATE TO REGULAR PLANNING COMMISSION MEETINGS

RESPECTFULLY SUBMITTED

Jennifer A. Lilley, AICP, City Planner

Attachments

1. Draft Resolution

**RESOLUTION NO. PC
2020-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA
ADOPTING AN UPDATE TO THE REGULAR PLANNING COMMISSION
MEETINGS TO BE HELD THE SECOND AND FOURTH TUESDAYS OF EACH
MONTH**

A. RESOLUTION:

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF
BREA HEREBY FINDS, DETERMINES, AND RESOLVES AS FOLLOWS:**

1. California Government Code Section 65804 authorizes the Planning Commission to develop and publish procedural rules for the conduct of zoning and planning hearings so that all interested parties will have advance knowledge of the procedures to be followed.

2 Brea City Code Section 2.28.110 authorizes the Planning Code to establish any rules, procedures or standards which do not conflict with state or federal law.

3 Pursuant to the authority granted by the California Government Code and the Brea City Code, the Planning Commission wishes to establish two regular meeting dates on every second and fourth Tuesday of the month.

4 The proposed Planning Commission schedule shall supersede and replace any conflicting meeting schedule previously adopted by the Planning Commission.

4. The Commission does hereby adopt the proposed Planning Commission meeting schedule to be effective May 26, 2020.

5. The Secretary of this Commission must certify to the adoption of this Resolution.

ADOPTED AND APPROVED this 26th day of May, 2020.

Chairman, Planning Commission

I, Jennifer A. Lilley, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Brea, held on May 26, 2020, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

Jennifer A. Lilley
Secretary